

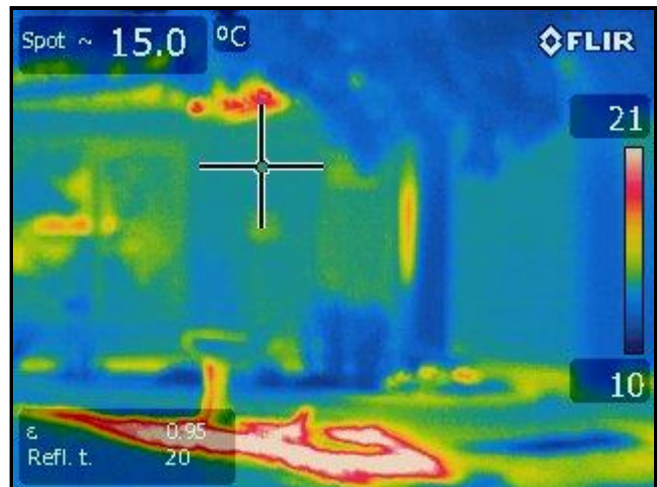


Inspection Report

John & Jenn Jones

Property Address:

2222 - Rocky Mountain St SW
Calgary Ab



Mr. Home Inspection Services Inc.

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Date: 7/11/2014	Time: 9:00 AM	Report ID: 14-XXXX
Property: 2222 - Rocky Mountain St SW Calgary Ab	Customer: John & Jenn Jones	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Standards of Practice:

InterNACHI InterNational Association of
Certified Home Inspectors

In Attendance:

Customer and their agent

Type of building:

Single Family (1 story)

Approximate age of building:

1971

Temperature:

20C

Weather:

Clear

Ground/Soil surface condition:

Dry

Rain/snow in last 3 days:

Yes

Radon Test:

No

Water Test:

No

1. Roofing

The home inspector shall observe: Roof covering materials; Roof penetrations and flashings, Chimneys, Skylights, Roof drainage components including gutters and downspouts, general structure of the roof from the readily accessible panels, doors or stairs or hatch. Observe and report evidence of water penetration.

The home inspector is not required to: Walk Observe attached accessories including accessories that do not make up part of the roofing such as lighting arrestor systems, antennae, solar heating systems, de-icing equipment. Predict the service life expectancy of the roof. Inspect underground downspout diverter drainage pipes. Move or disturb insulation. Perform a water test. Walk on roofing where in the judgement of the inspector could be dangerous or cause damage. Warrant or certify or guarantee the roof.

This report is an opinion of the general quality and condition of the roofing. As such the inspector cannot and does not offer an opinion or warranty as to whether the roof has leaked in the past, leaks now or is subject to future leakage.

Gutters, downspouts and subsurface drains are not water tested for leakage or blockage. These components require regular maintenance to avoid water problems at the roof and foundation.

		IN	NI	NP	RR	Styles & Materials
1.0	ROOF COVERINGS				●	Roof Covering: Asphalt
1.1	FLASHINGS	●				Viewed roof
1.2	SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS	●				covering from: Walked roof
1.3	ROOF DRAINAGE SYSTEMS - Gutters & Downspouts	●				Sky Light(s): None
1.4	ATTIC VENTILATION	●				Chimney (exterior): Metal Flue Pipe

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

1.0 I recommend an annual roofing tune up by a qualified roofing contractor to maintain the roofing cover.

The roof covering has some visual damage to the roof covering from age and weather. this area has been hard hit in recent years with bad weather reducing the service life of the shingles. I recommend a qualified roofing contractor inspect the roof.

The roof covering has visual damage to the roof covering, Some areas may need patching with tar if leaks develop. I recommend a qualified roofing contractor inspect the roof.

You should plan on replacement



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



1.0 Item 6(Picture)

1.1 I recommend an annual roofing tune up by a qualified roofing contractor to inspect the flashings.

1.2 I recommend an annual roofing tune up by a qualified roofing contractor to inspect the roof penetrations.

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The home inspector shall observe and report on: exterior wall covering/surfaces, eaves and trim; Doors, windows and flashings; Garages and carports that are attached to the main building. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. Balconies including stairs, guards and railings. observe and report impact of lot grading and vegetation. Retaining walls when these are likely to adversely affect the structure. Walkways and driveways on the building. Test the operational of the power operated garage door openers, including the stop and automatic reverse functions.

The home inspector is not required to observe and report on: Geological, hydrological, and/or ground and soil conditions. **Yard fencing**, Seasonal accessories such as removable storm windows, storm doors, screens and shutters. Storage sheds and other structures not part of the building. Any items or facilities not directly related to the building structure, such as swimming pools, saunas, hot tubs, tennis courts, etc. Seawalls, break-walls and docks. Playground equipment or recreation facilities. Erosion control and earth stabilization measures. Drain fields or dry wells, septic systems or cesspools. Water wells or springs. Determine the integrity of the thermal window seals or damaged glass. Verify or certify safe operation of any auto reverse or related safety function of a garage doors.

The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

		IN	NI	NP	RR	Styles & Materials
2.0	WALL COVERING				•	Siding Material: Vinyl
2.1	DOORS (Exterior)	•				Exterior Entry
2.2	WINDOWS	•				Doors: Steel
2.3	WINDOW WELLS	•				Appurtenance: Sidewalk Patio
2.4	DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER, FENCES AND APPLICABLE RAILINGS	•				Driveway: None
2.5	VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)	•				
2.6	EAVES, SOFFITS AND FASCIAS	•				
2.7	EXTERIOR SHED AND OUTBUILDINGS	•				
2.8	TRIM	•				
2.9	SUPPORT POSTS	•				
2.10	DRYER/BATHROOM/RANGE HOOD VENT COVER	•				

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

2.0 The siding is damaged at rear as shown

2.0 Item 1(Picture)

2.0 Item 2(Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The home inspector shall observe and report on: the operation of the power operated garage door openers, including the stop and automatic reverse functions.

The home inspector is not required to: verify or certify safe operation of any auto reverse or related safety function of the garage doors.

		IN	NI	NP	RR	<u>Styles & Materials</u>
3.0	GARAGE ROOF COVERING				•	Auto-opener Manufacturer: GENIE Garage Door Type: One automatic Garage Door Material: Metal
3.1	GARAGE CEILINGS				•	
3.2	GARAGE WALLS	•				
3.3	GARAGE FLOOR	•				
3.4	GARAGE DOOR (S)	•				
3.5	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)				•	
3.6	GARAGE OUTSIDE WALL				•	
3.7	GARAGE WINDOWS	•				
3.8	GARAGE TRIM ON EXTERIOR	•				
3.9	ROOF DRAINAGE				•	
3.10	ELECTRIC IN GARAGE	•				
3.11	SOFFIT/FASCIA ON GARAGE	•				

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IN NI NP RR

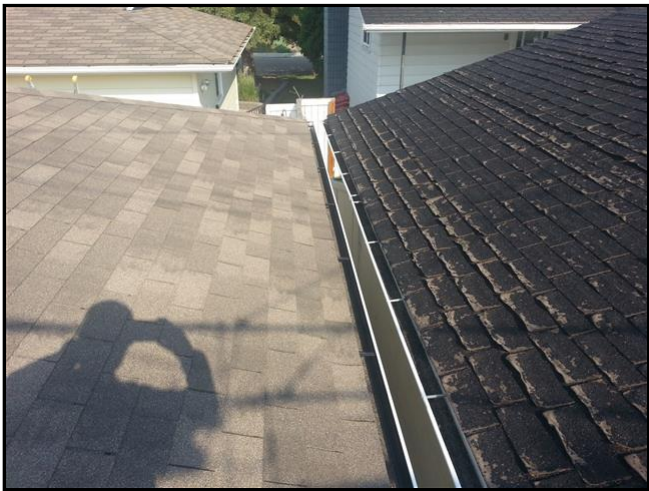
3.0 The gutters and eave overhang next property line, you should check for encroachment issues.



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)

3.1 The garage attic is not insulated

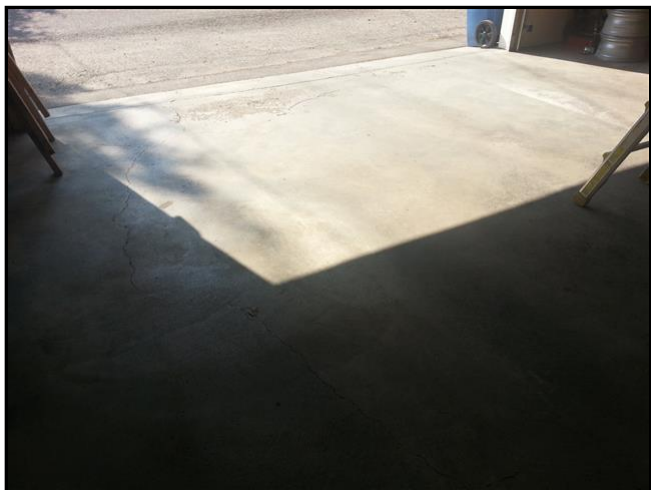


3.1 Item 1(Picture)



3.1 Item 2(Picture)

3.3 I recommend applying a epoxy coating to protect the concrete from road salt, there are existing cracks and some damaged concrete at the entry.



3.3 Item 1(Picture)



3.3 Item 2(Picture)



3.3 Item 3(Picture)

3.5 The sensors are in place for garage door(s) and will reverse the door.

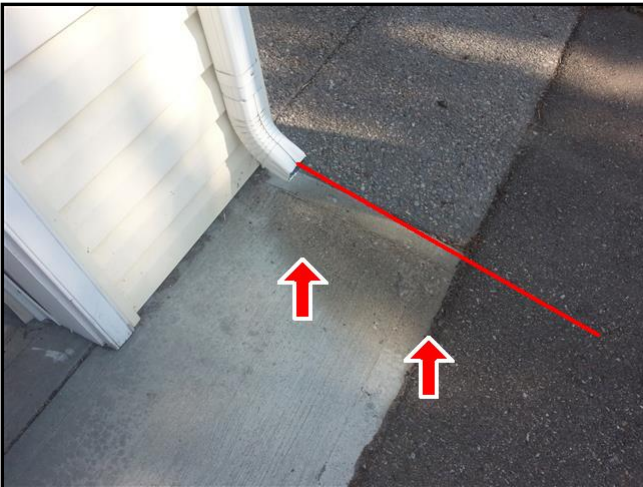
The garage door will NOT reverse when met with resistance. I recommend repairs for safety by a qualified contractor.

3.6 siding damaged as shown



3.6 Item 1(Picture)

3.9 The downspout requires extending away from the foundation to prevent moisture issues around the foundation. Damage to the concrete is starting



3.9 Item 1(Picture)

4. Interiors

The home inspector shall observe: Floors, walls, ceilings and trim. Fire separating walls and party walls. Stairs, guards and railings. Observe condition of permanently installed counters and cabinets. Observe and report on any evidence of water penetration and condensation. The presence of smoke detectors. Randomly select and operate where reasonably accessible a representative number of doors and windows.

The home inspector is not required to observe: Treatments such as paint, wallpaper, carpeting, blinds, drapes and other similar treatments. Kitchen, bathroom and laundry appliances. Observe fireplace insert installation. Any items or facilities not directly related to the interior systems and components such as swimming pools, saunas, hot tubs, ponds and waterfalls. Move furniture, stored items or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop/suspended ceiling tiles. Operate or examine any sauna, steam Jenny, kiln, toaster, plug-in kitchen appliances or other ancillary devices. Inspect elevators, remote controls, appliances or any items not permanently installed. Examine or operate any above ground, movable, freestanding, or non-permanently installed pool/spa recreational equipment or self contained equipment. Test the smoke detectors. Solid Fuel burning appliances and wood stoves.

		IN	NI	NP	RR	Styles & Materials
4.0	CEILINGS				•	Ceiling Materials: Drywall
4.1	WALLS	•				Wall Material: Drywall
4.2	FLOORS	•				Floor Covering(s): Carpet Hardwood T&G Tile
4.3	STEPS, STAIRWAYS, BALCONIES AND RAILINGS	•				Interior Doors: Hollow core
4.4	COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS	•				Window Types: Both
4.5	DOORS (REPRESENTATIVE NUMBER)	•				Window
4.6	WINDOWS (REPRESENTATIVE NUMBER)	•				Manufacturer: UNKNOWN
4.7	TRIM	•				Cabinetry: Wood
4.8	BASEMENT AREA INSIDE	•				Countertop: Laminate

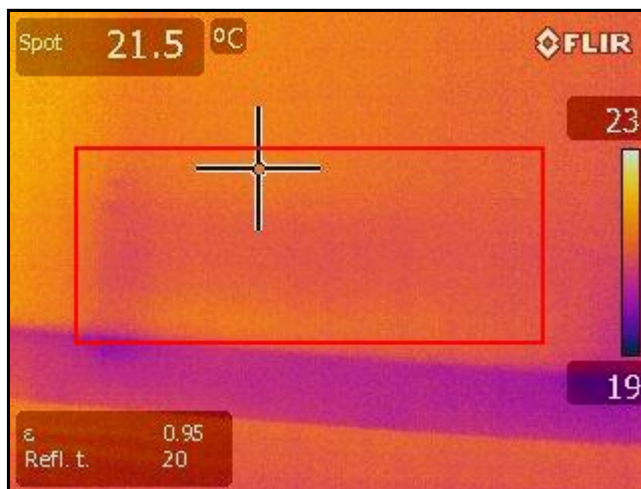
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IN NI NP RR

4.0 (1) There is a old moisture stain in kitchen on ceiling as shown, it was dry today, it may have been caused by an un-insulated and detached duct in the attic.



4.0 Item 1(Picture)



4.0 Item 2(Picture)

(2) damage around ceiling hatch was existing before inspection



4.0 Item 3(Picture)



4.0 Item 4(Picture)

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The Home Inspector shall observe and report on: the visible foundation walls. Floors, columns, roofs and attics. Report any general indications of foundation movement observed by the inspector, such as but not limited to drywall cracks, brick cracks, out of square door frames or floor slopes and concrete wall cracks, report on any cutting, notching and boring of framing members which may present a structural or safety concern. Chimneys, wood in contact or near soil. Crawl spaces, basement. Observe and report any evidence of water penetration and condensation, deterioration from insects, rot or fire.

The home inspector is not required to: inspect areas that are not reasonably accessible or visible. Enter any crawlspaces that are not readily accessible or where entry could cause damage or pose a hazard to the inspector. Move stored items or debris. Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems. Provide any engineering or architectural service. Report on the adequacy of any structural system or component.

		IN	NI	NP	RR	<u>Styles & Materials</u>
5.0	FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	•				Foundation: Poured concrete - less than 5% visible EXTERIOR FOUNDATION LESS THAN 10% VISIBLE ABOVE GRADE Floor Structure: Wood beams Wood Joists Wall Structure: Wood Columns or Piers: Steel screw jacks Ceiling Structure: Not visible Roof Structure: Engineered wood trusses Plywood Roof-Type: Hip Method used to observe attic: From entry Attic info: Attic hatch
5.1	WALLS (Structural)	•				
5.2	COLUMNS OR PIERS	•				
5.3	FLOORS (Structural)	•				
5.4	CEILINGS (structural)	•				
5.5	ROOF STRUCTURE AND ATTIC	•				

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5.0 no evidence of abnormal moisture seen today.

5.1 only visible areas inspected, most are covered

5.2 only visible areas inspected, most are covered

5.3 only visible areas inspected, most are covered

5.4 Most of the walls and ceilings in the finished basement are covered and structural members are not visible. No obvious problems discovered. I could not see behind these coverings.

5.5 View of attic structure for your info only

5.5 Item 1(Picture)



5.5 Item 2(Picture)

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The Home Inspector shall observe and report on: Verify the presence of and identify the location of the main water shutoff valve. Water supply piping into house and within the house, pipe supports and insulation. Drain, waste and vent piping, pipe supports and insulation. Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves. Inspect the drainage sump pumps and test pumps with accessible floats. Presence of cross-connections that could contaminate the potable water. Water volume and pressure should be tested by opening the faucets to obtain a reasonable flow of one or more fixtures simultaneously and at various locations in the house. Water drainage should be tested by draining one or more fixtures simultaneously and at various locations in the house. Test the water supply by operating accessible and visible valves and faucets. Any leaks in the piping systems. Determine if the water supply is public or private.

The home inspector is not required to observe: Ignite or extinguish fires, pilot lights, change settings or conditions on equipment. Determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply. Operate any valves other than those used on a regular or daily basis. Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps, tanks, safety or shut-off valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the water quality or pot ability or the reliability of the water supply or source. Foundation drainage system and yard piping. Inspect clothes washing machines or their connections. Test shower pans, tub and shower surrounds or enclosures for leakage. Evaluate the compliance with local conservation or energy standards or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back flow prevention or drain-stop devices. Determine whether there are sufficient clean-outs for effective cleaning of drains.

		IN	NI	NP	RR	<u>Styles & Materials</u>
6.0	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•				Water Source: Public
6.1	PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES				•	Water Filters: (We do not inspect filtration systems)
6.2	HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS				•	Plumbing Water Supply (into home): Copper
6.3	MAIN WATER SHUT-OFF DEVICE (Describe location)	•				Plumbing Water Distribution (inside home): Copper PEX
6.4	Underground Sprinkler system		•			Washer Drain Size: Not visible

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IN NI NP RR

Washer Drain

Size:

Not visible

Plumbing Waste:

Cast iron
ABS

Water Heater

Power Source:

Gas (quick recovery)

Water Heater

Capacity:

40 Gallon (1-2 people)

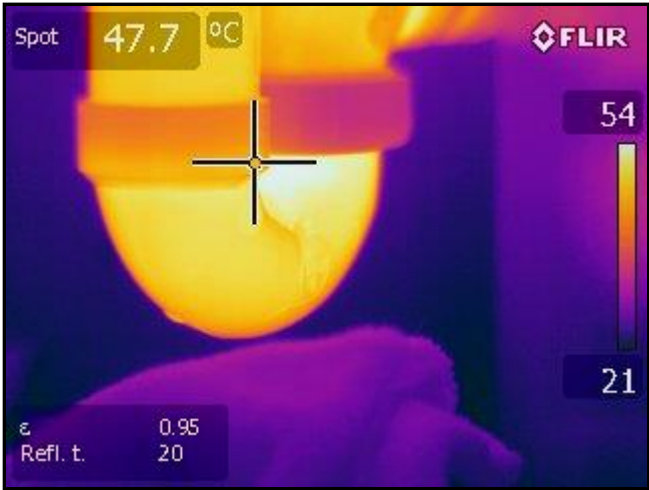
Manufacturer:

RHEEM

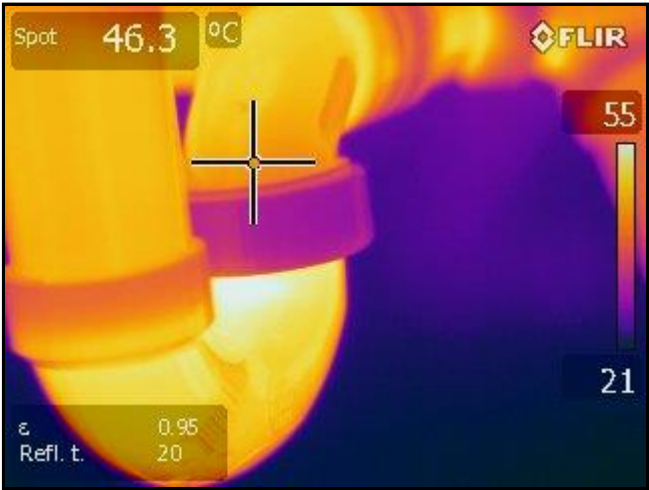
Water Heater

Location:

6.0 (1) All under sink drains inspected with FLIR camera



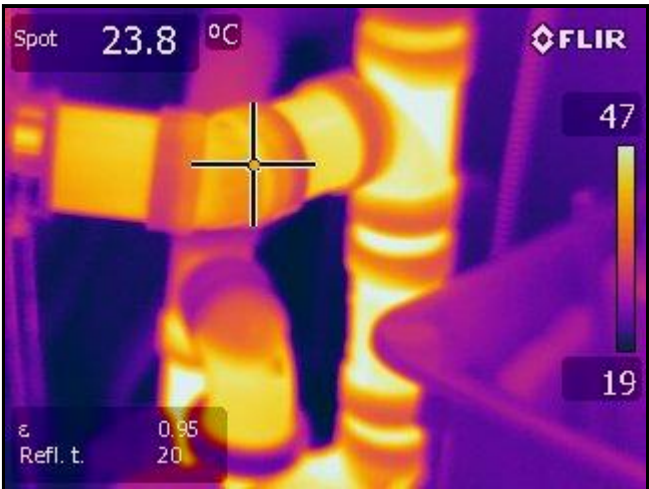
6.0 Item 1(Picture)



6.0 Item 2(Picture)

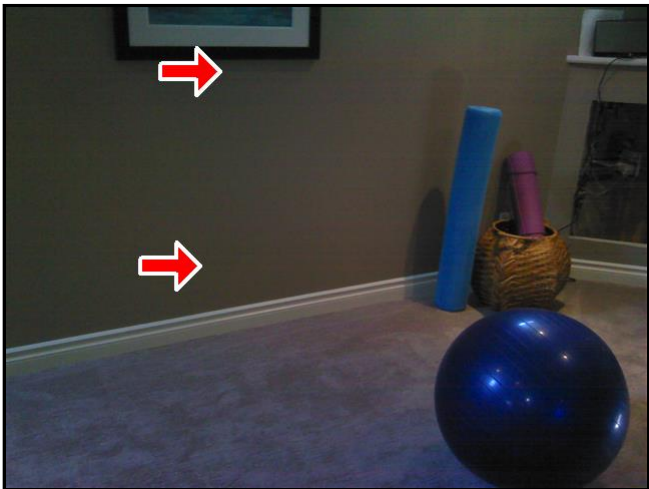


6.0 Item 3(Picture)

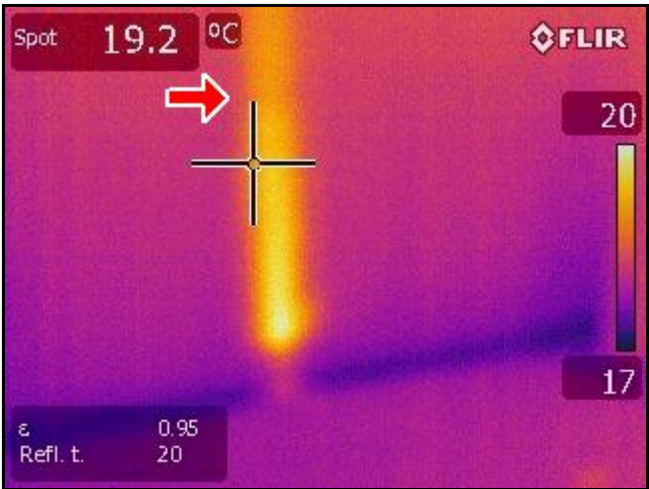


6.0 Item 4(Picture)

(2) FYI kitchen drain line is behind this basement outside wall, this is to advise you to monitor.



6.0 Item 5(Picture)



6.0 Item 6(Picture)

(3) cast iron to ABS in store room, main clean out is here



6.0 Item 7(Picture)

6.0 Item 8(Picture)

6.1 The steam shower unit is located in the basement store room below the master bathroom, the unit is leaking at the water connection and requires repairs.



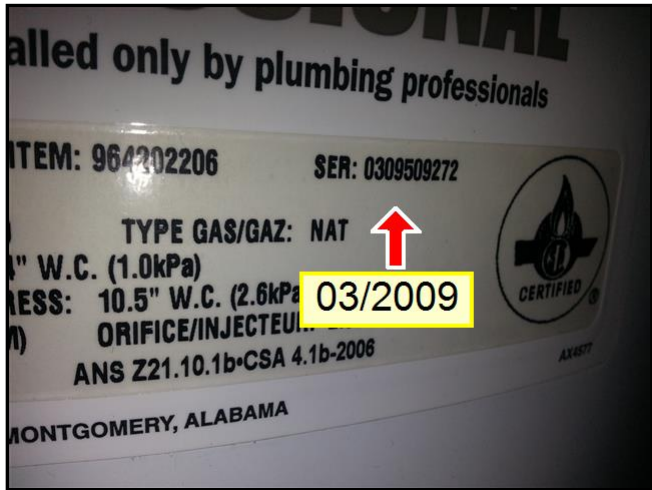
6.1 Item 1(Picture)

6.1 Item 2(Picture)



6.1 Item 3(Picture)

6.2 (1) The hot water tank is approx. 5 years old but did work at time of inspection. I am unable to determine life remaining.



6.2 Item 1(Picture)

(2) hot water checked with FLIR camera, the water temperature is very hot and could injure, you should lower the temperature to a safer temperature to prevent a injury.



6.2 Item 2(Picture)



6.2 Item 3(Picture)

6.3 The main water shut off is located in basement as shown

6.3 Item 1(Picture)

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The Home Inspector shall observe and report on: Service entrance cable and location, integrity of the insulation, drip loop, or separation of conductors at weather heads, and clearances from grade or rooftops. Main service panel, auxiliary panels and location. Test all Ground Fault Circuit Interrupter (GFCI) receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection using a GFCI tester. Panel over current protection and system grounding. Branch circuit wiring and related over current protection. Report on any unused circuit breaker panel openings that are not filled. Amperage and voltage ratings of the main service panel. A representative number of switches, receptacles, lighting fixtures, AFCI receptacles. The means for disconnecting the service main. Outlets noted above are to be checked for polarity and grounding. All exterior outlets and those within 1.5 metre of plumbing fixtures will be checked for polarity, grounding and ground fault circuit protection.(GFCI). Report the absence of smoke detectors. Report the presence of solid conductor aluminum branch circuit wiring if readily visible.

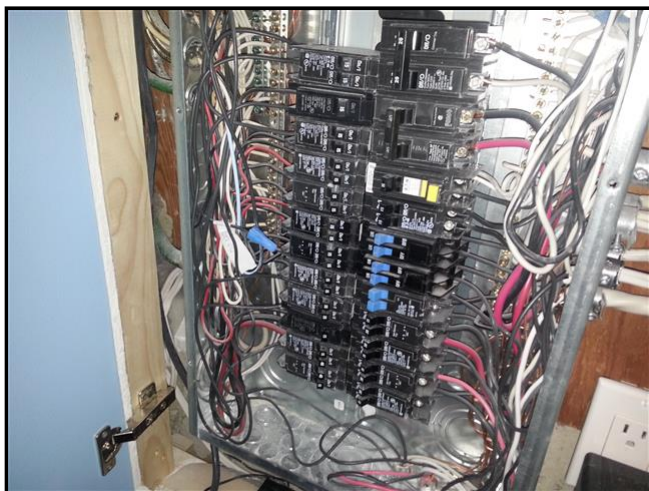
The home inspector is not required to observe: Insert any tool, probe or device into the main panel board sub-panels, distribution panel boards or electrical fixtures. Secondary wiring systems such as low voltage wiring, telecom wiring, CATV wiring etc. Any components not related to the primary electrical systems such as security systems, swimming pool wiring and time-control devices. Inspect private or emergency electrical supply sources including but not limited to generators, windmills, solar panels or battery or electrical storage facilities. Provide or remove for equipment. Inspect or test de-icing equipment. Conduct voltage drop calculations. Determine the accuracy of circuit labelling. Verify the service ground. Test the operation of smoke or CO2 detectors. Dismantle, remove, adjust or perform any task on any electrical equipment that would require a qualified trades person to perform. Insert or remove fuses or operate circuit breakers.

		IN	NI	NP	RR	<u>Styles & Materials</u>
7.0	SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS	•				Electrical Service Conductors: Overhead service
7.1	BRANCH CIRCUIT CONDUCTORS	•				Panel capacity: 100 AMP
7.2	CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)	•				Panel Type: Circuit breakers Electric Panel Manufacturer: CUTLER HAMMER
7.3	POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE				•	Branch wire 15 and 20 AMP: Copper
7.4	OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS) AFCI (ARC FAULT CIRCUIT INTERRUPTERS)	•				Wiring Methods: Not Visible
7.5	LOCATION OF MAIN AND DISTRIBUTION PANELS	•				
7.6	SMOKE DETECTORS		•			
7.7	CARBON MONOXIDE DETECTORS		•			
7.8	COMMUNICATIONS CABLES		•			

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IN NI NP RR

7.0 view of inside panel, no issues detected today.



7.0 Item 1(Picture)

7.3 (1) **The exterior outlets on the house are not GFCI equipped, I recommend for safety installing GFCI by a qualified electrical contractor.**

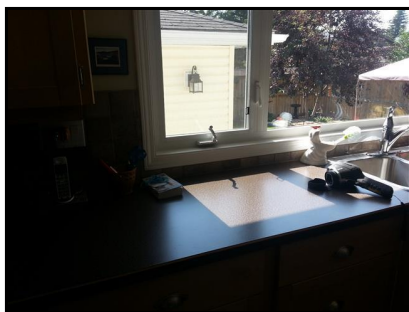


7.3 Item 1(Picture)

(2) The kitchen countertop outlets are not equipped with GFCI, this dwelling was constructed before it was required but I recommend installing GFCI for safety by a qualified electrical contractor.



7.3 Item 2(Picture)



7.3 Item 3(Picture)

7.5 The main panel box is located at the basement.



7.5 Item 1(Picture)

7.6 I recommend that you install new smoke detectors on all levels of the home in accordance to the manufactures recommendations. We don't test smoke detectors.

7.7 I recommend you install NEW carbon monoxide detectors on all levels of the home in accordance of the manufactures recommendation for safety. We do not test carbon monoxide detectors.

7.8 not part of home inspection

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The Home Inspector shall observe and report on: The heating systems using normal operating controls and describe the energy source and heating method. Furnace and distribution system, including fans, ducts, dampers, supports, filters, insulation, registers and humidifiers. Boilers and distribution system including pumps, piping, valves, supports, insulation, radiators and convectors. Flue piping, vents and chimney's. Heat recovery ventilator. Interior fuel storage equipment supply piping, venting, supports and evidence of leakage. Cooling equipment and distribution system including fans, ducts, dampers, supports, filters, insulation, registers and piping. The presence of manufacture's built-in safety controls. The presence of a heat source in each room. Test system using the thermostat or other similar standard operating controls. Readily accessible and removable panel covers designed for homeowner access may be removed for inspection purposes.

The home inspector is not required to observe: Inspect or evaluate interiors of flues or chimneys, fire chambers, **heat exchangers**, humidifiers, dehumidifiers, electronic air filters, solar heating systems or fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, adequacy, BTU, or supply adequacy of the heating system. Any portable heating/cooling, humidifying, dehumidifying or air cleaning equipment. Activate any HVAC systems when the ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Examine electrical current, coolant fluids or gases, or coolant leakage. Dismantle, remove, adjust or perform any function on any heating or cooling equipment that would require a qualified tradesperson to perform. Light or ignite pilot flames. Change settings or conditions on equipment.

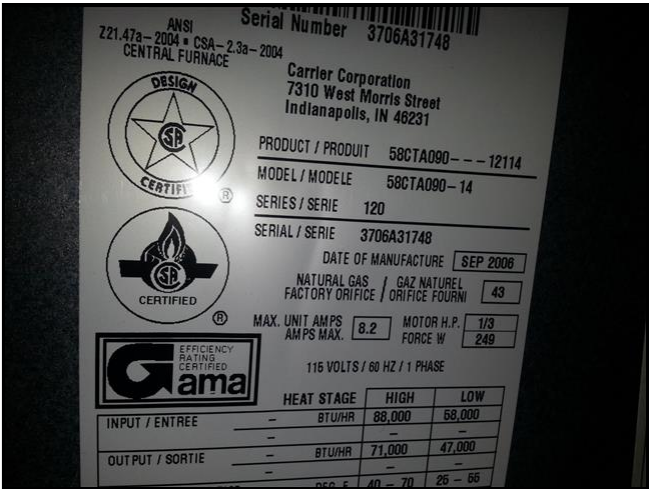
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

8.0 (1) I recommend an annual furnace tune up by a qualified HVAC contractor to ensure safe and effective operation of the heating equipment.

The furnace is over 8 years old (2006 Sept) but did work at time of inspection. I am unable to determine life remaining.



8.0 Item 1(Picture)



8.0 Item 2(Picture)

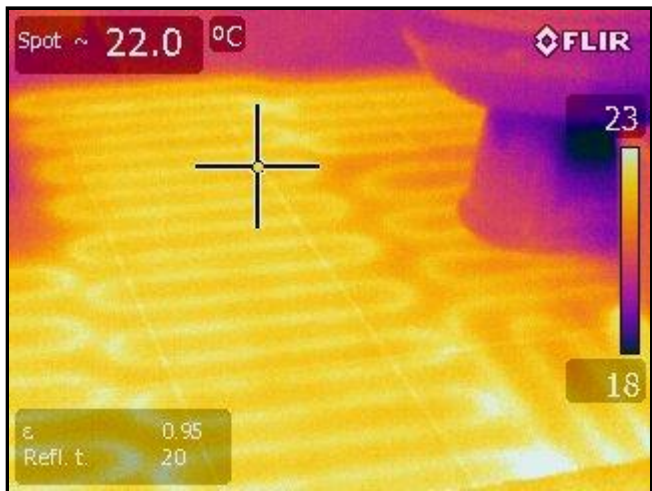


8.0 Item 3(Picture)

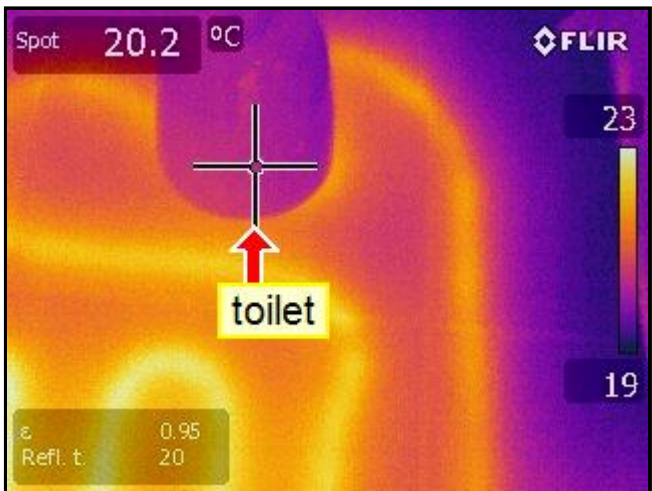


8.0 Item 4(Picture)

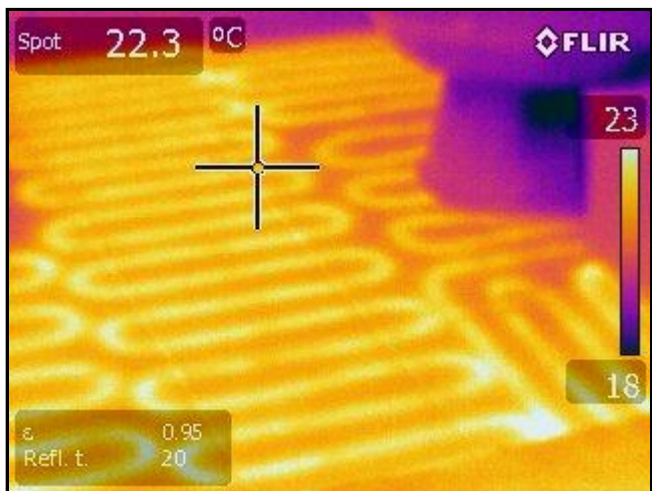
(2) The in floor heating in the 3 bathroom's was checked with FLIR camera, no issues detected today.



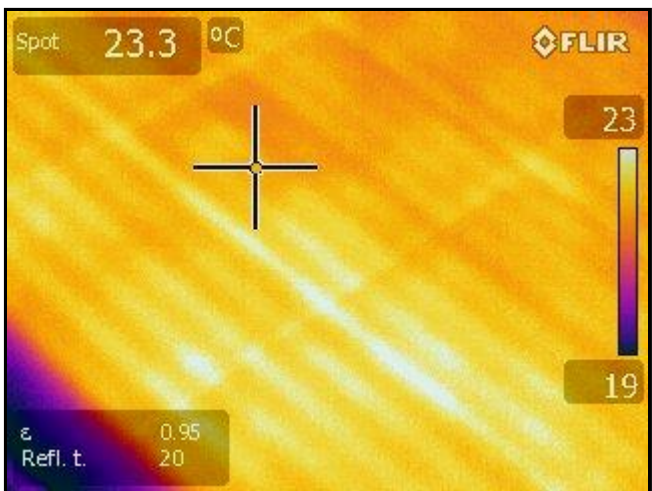
8.0 Item 5(Picture)



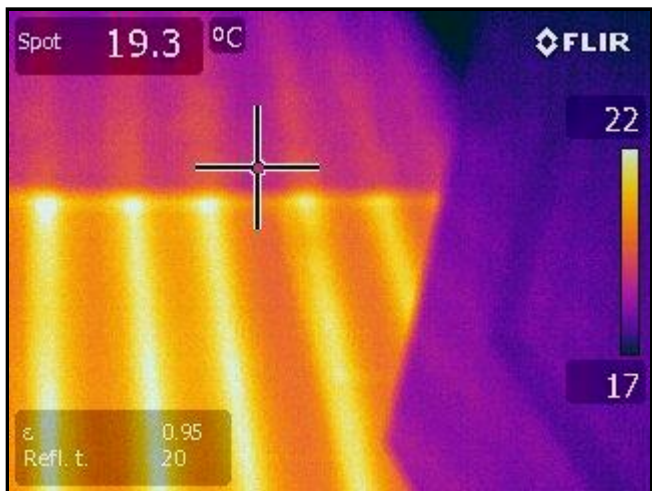
8.0 Item 6(Picture)



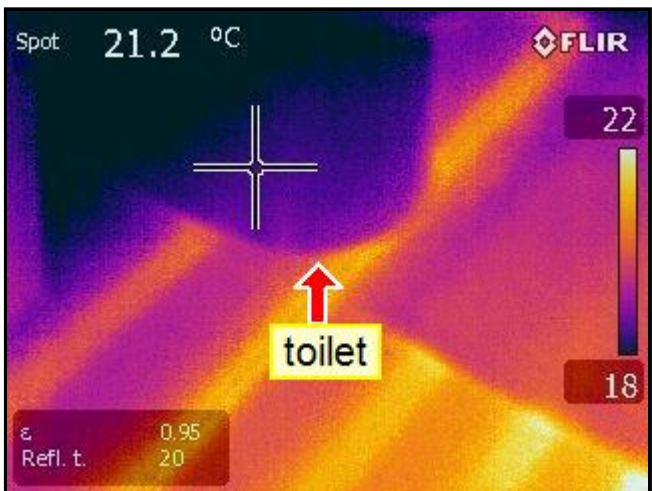
8.0 Item 7(Picture)



8.0 Item 8(Picture)



8.0 Item 9(Picture)



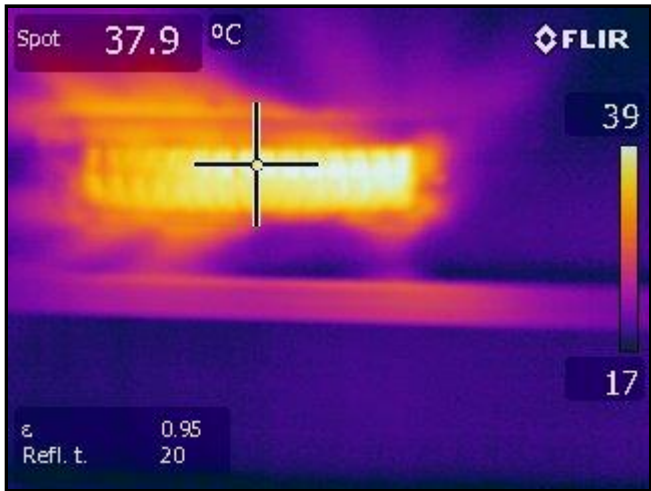
8.0 Item 10(Picture)

8.2 0 ppm measured today

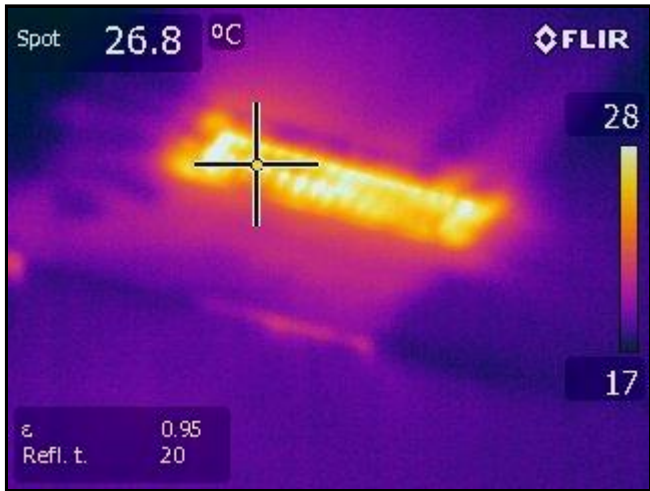


8.2 Item 1(Picture) at furnace

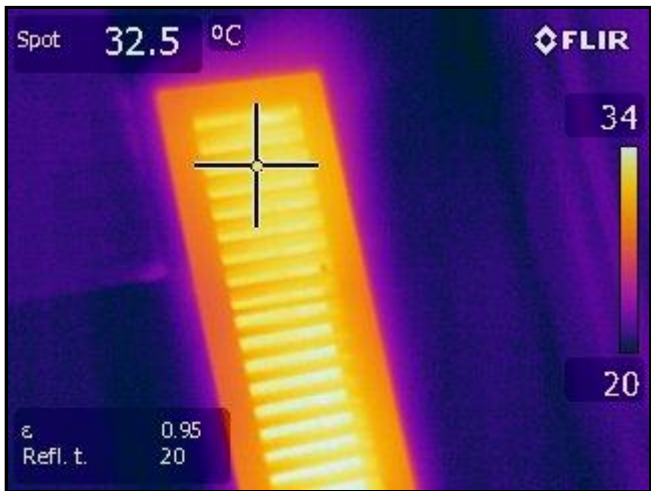
8.4 heat registers checked with FLIR camera for heat presence.



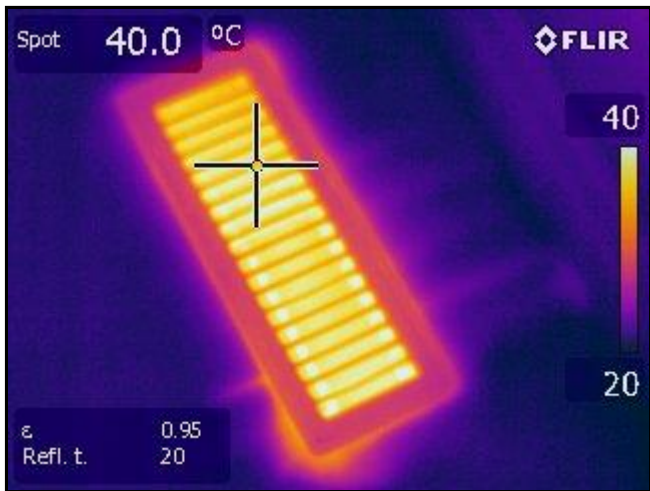
8.4 Item 1(Picture)



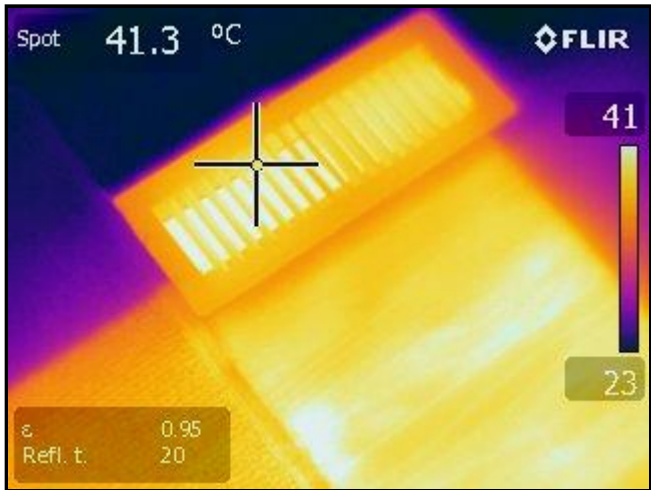
8.4 Item 2(Picture)



8.4 Item 3(Picture)



8.4 Item 4(Picture)



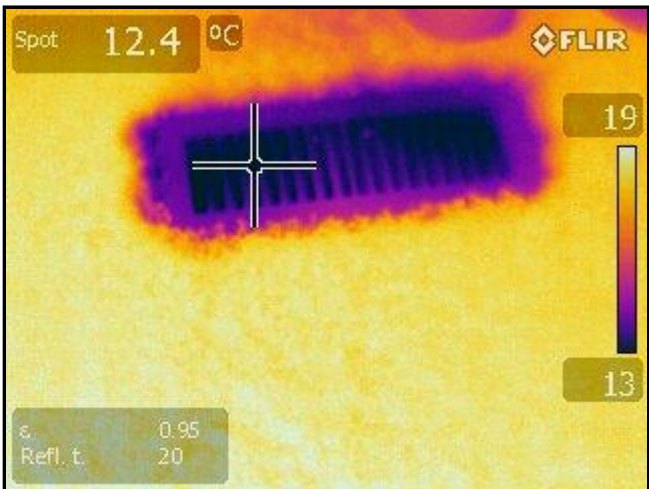
8.4 Item 5(Picture)

8.6 I recommend an annual Air conditioning tune up by a qualified HVAC contractor to ensure safe and effective operation of the cooling equipment. The outside unit should be covered in the winter season, and turn the AC breaker off at the panel. In spring turn breaker on and wait at least 1 hour for warm up before operating.

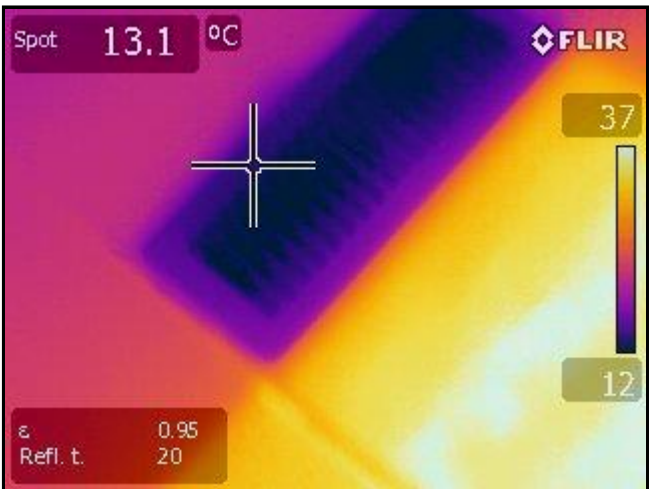


8.6 Item 1(Picture)

8.8 registers checked for cooling presence with FLIR camera



8.8 Item 1(Picture)



8.8 Item 2(Picture)

8.9 The humidifier filter needs to be replaced now as it is clogged, it also should be cleaned/ replaced annually



8.9 Item 1(Picture)

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The home inspector shall observe and report on: Insulation and vapor barriers in accessible attics, crawl spaces and unfinished basements; Ventilation of attics and unheated crawl spaces; Report on the general absence or lack of insulation; Operate exhaust fan ventilation systems for Kitchen, bathroom, and laundry venting systems;

The home inspector is not required to observe: Concealed insulation and vapor barrier systems; Inspect areas that are not reasonably accessible or visible; Move, touch or disturb insulation or vapor barriers; Identify the composition or exact R-value of insulation material; Determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers and wiring; Determine the adequacy of ventilation.

		IN	NI	NP	RR	<u>Styles & Materials</u>
9.0	INSULATION IN ATTIC				•	Attic Insulation: Batt Fiberglass wood chips
9.1	INSULATION UNDER FLOOR SYSTEM	•				Ventilation: Turbines ROOF VENTS (mushroom type)
9.2	VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)			•		Exhaust Fans: Fan only
9.3	VENTILATION OF ATTIC AND FOUNDATION AREAS	•				Dryer Power Source: 220 Electric
9.4	VENTING SYSTEMS (Kitchens, baths and laundry)				•	Dryer Vent: Unknown
9.5	CEILING INSULATION	•				Floor System Insulation: Not-Visible
9.6	WALL INSULATION	•				

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

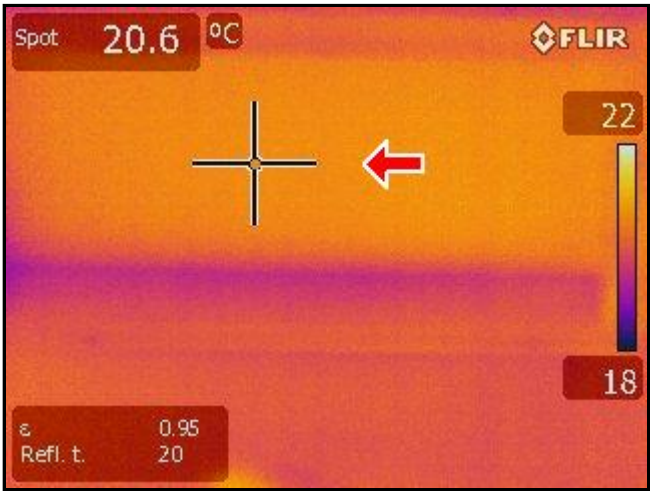
9.0 (1) The attic hatch is not insulated, I recommend insulating to prevent heat loss.



9.0 Item 1(Picture)

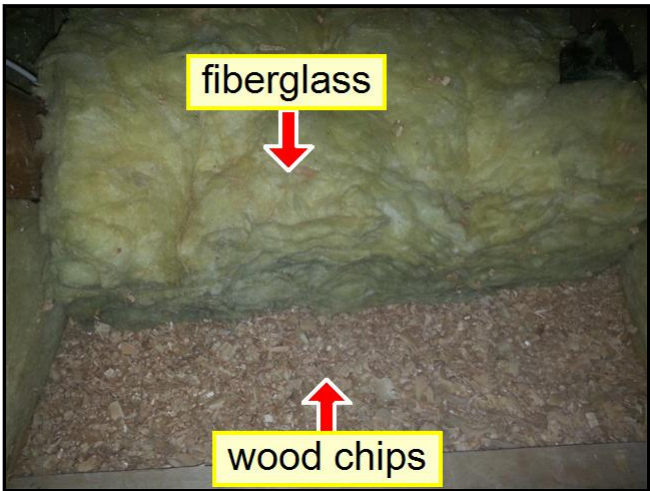


9.0 Item 2(Picture)



9.0 Item 3(Picture)

(2) The attic has fiberglass batt insulation over top of wood chips. The covering is not consistent. Improving the attic insulation is recommended



9.0 Item 4(Picture)



9.0 Item 5(Picture)

9.4 (1) The main and master bathroom exhaust ducts are disconnected in attic, repairs are required to reattach to prevent moisture issues.

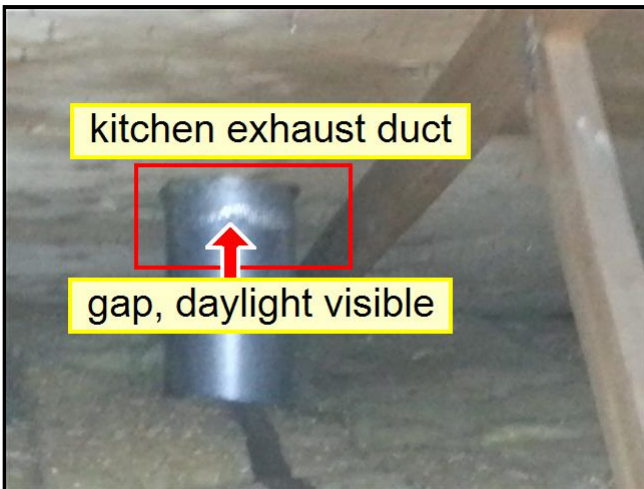


9.4 Item 1(Picture)



9.4 Item 2(Picture)

(2) The kitchen exhaust has a gap at the joint as shown and has likely caused a moisture stain in the kitchen as mentioned. repairs are required



9.4 Item 3(Picture)



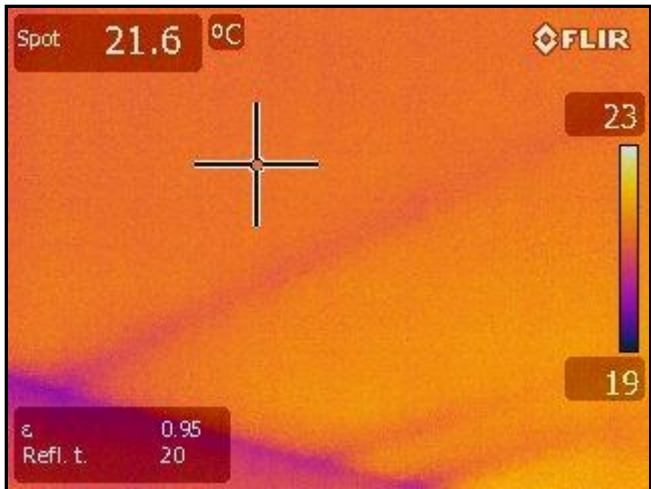
9.4 Item 4(Picture)

(3) The clearance between the electric cooktop and the exhaust should be 21 inches it is 16 1/2 inches

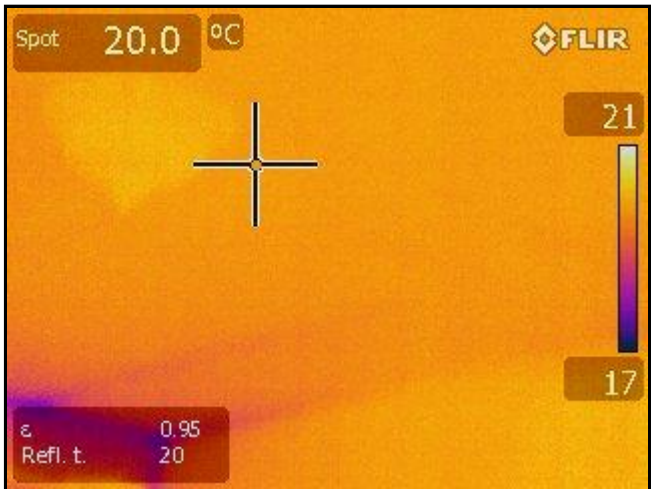


9.4 Item 5(Picture)

9.5 inspected with FLIR camera

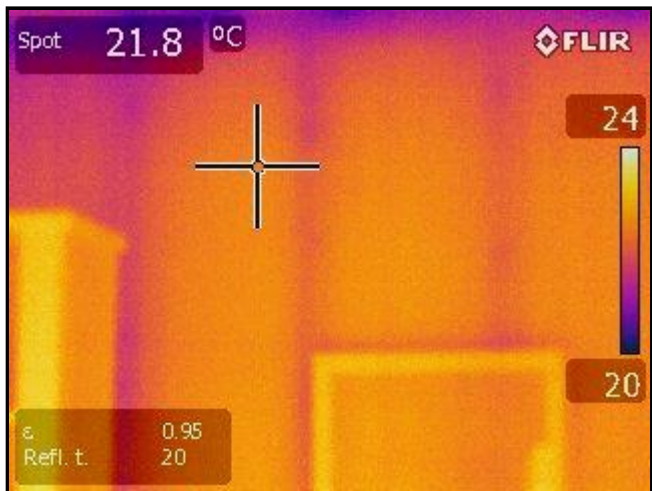


9.5 Item 1(Picture)



9.5 Item 2(Picture)

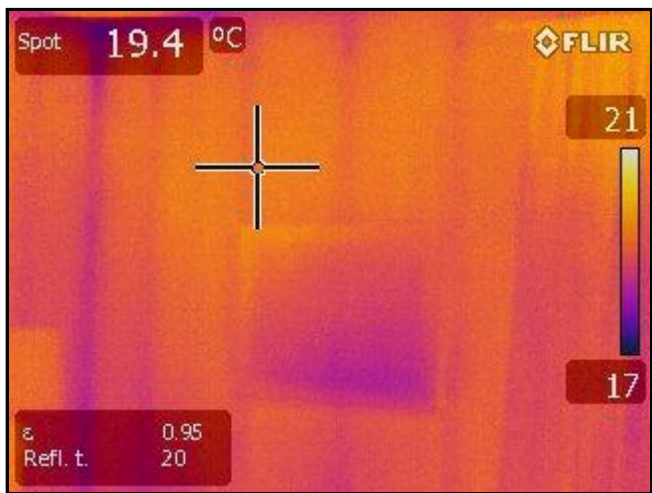
9.6 inspected with FLIR camera



9.6 Item 1(Picture)



9.6 Item 2(Picture)



9.6 Item 3(Picture)

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary



Mr. Home Inspection Services Inc.

**317 Shawinigan Dr SW Calgary, Alberta
T2Y 3A2 403-455-5058
Randy@MrHomeInspections.ca
www.MrHomeInspections.ca**

Customer

John & Jenn Jones

Address

2222 - Rocky Mountain St SW
Calgary Ab

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Repair or Replace

I recommend an annual roofing tune up by a qualified roofing contractor to maintain the roofing cover.

The roof covering has some visual damage to the roof covering from age and weather. this area has been hard hit in recent years with bad weather reducing the service life of the shingles. I recommend a qualified roofing contractor inspect the roof.

The roof covering has visual damage to the roof covering. Some areas may need patching with tar if leaks develop. I recommend a qualified roofing contractor inspect the roof.

You should plan on replacement

1. Roofing



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



1.0 Item 6(Picture)

2. Exterior

2.0 WALL COVERING

Repair or Replace

The siding is damaged at rear as shown



2.0 Item 1(Picture)



2.0 Item 2(Picture)

3. Garage

3.0 GARAGE ROOF COVERING

Repair or Replace

The gutters and eave overhang next property line, you should check for encroachment issues.

3. Garage



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)

3.1 GARAGE CEILINGS

Repair or Replace

The garage attic is not insulated



3.1 Item 1(Picture)



3.1 Item 2(Picture)

3. Garage

3.5 GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)

Repair or Replace

The sensors are in place for garage door(s) and will reverse the door.

The garage door will NOT reverse when met with resistance. I recommend repairs for safety by a qualified contractor.

3.6 GARAGE OUTSIDE WALL

Repair or Replace

siding damaged as shown

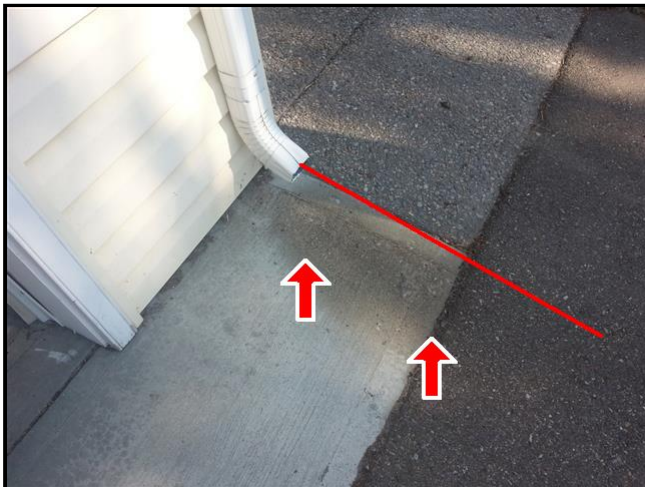


3.6 Item 1(Picture)

3.9 ROOF DRAINAGE

Repair or Replace

The downspout requires extending away from the foundation to prevent moisture issues around the foundation. Damage to the concrete is starting



3.9 Item 1(Picture)

4. Interiors

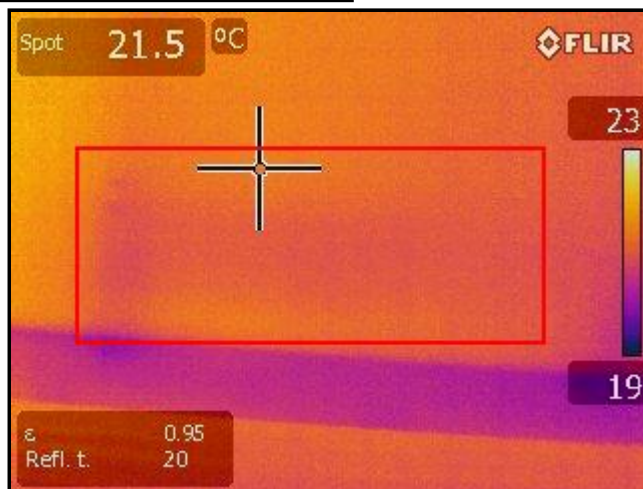
4.0 CEILINGS

Repair or Replace

(1) **There is a old moisture stain in kitchen on ceiling as shown, it was dry today, it may have been caused by an un-insulated and detached duct in the attic.**



4.0 Item 1(Picture)



4.0 Item 2(Picture)

(2) **damage around ceiling hatch was existing before inspection**



4.0 Item 3(Picture)



4.0 Item 4(Picture)

6. Plumbing System

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Repair or Replace

The steam shower unit is located in the basement store room below the master bathroom, the unit is leaking at the water connection and requires repairs.

6. Plumbing System



6.1 Item 1(Picture)



6.1 Item 2(Picture)



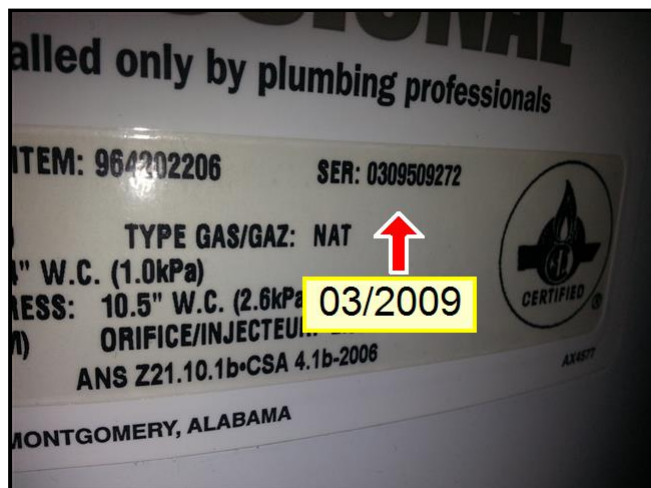
6.1 Item 3(Picture)

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Repair or Replace

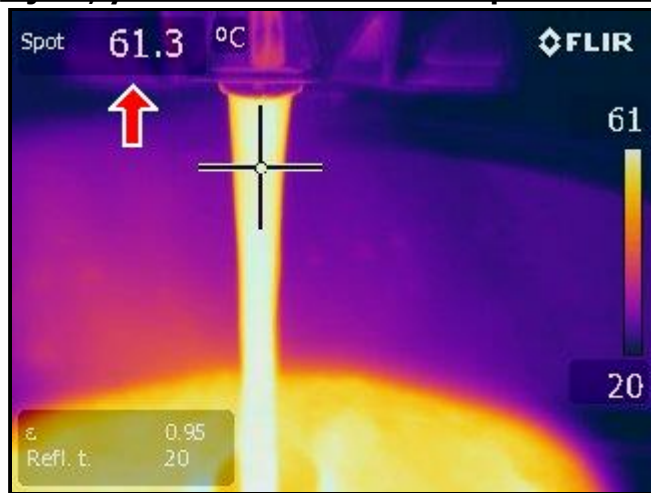
(1) The hot water tank is approx. 5 years old but did work at time of inspection. I am unable to determine life remaining.

6. Plumbing System



6.2 Item 1(Picture)

(2) hot water checked with FLIR camera, the water temperature is very hot and could injure, you should lower the temperature to a safer temperature to prevent a injury.



6.2 Item 2(Picture)



6.2 Item 3(Picture)

7. Electrical System

7.3 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE

Repair or Replace

(1) The exterior outlets on the house are not GFCI equipped, I recommend for safety installing GFCI by a qualified electrical contractor.

7. Electrical System

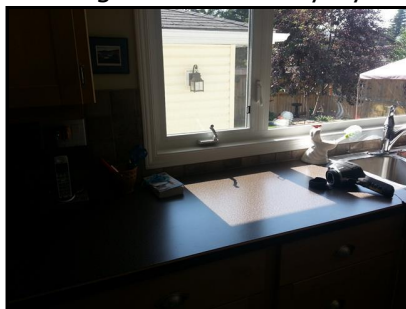


7.3 Item 1(Picture)

(2) The kitchen countertop outlets are not equipped with GFCI, this dwelling was constructed before it was required but I recommend installing GFCI for safety by a qualified electrical contractor.



7.3 Item 2(Picture)



7.3 Item 3(Picture)

8. Heating / Central Air Conditioning

8.9 HUMIDIFIER

Repair or Replace

The humidifier filter needs to be replaced now as it is clogged, it also should be cleaned/ replaced annually

8. Heating / Central Air Conditioning



8.9 Item 1(Picture)

9. Insulation and Ventilation

9.0 INSULATION IN ATTIC

Repair or Replace

(1) The attic hatch is not insulated, I recommend insulating to prevent heat loss.

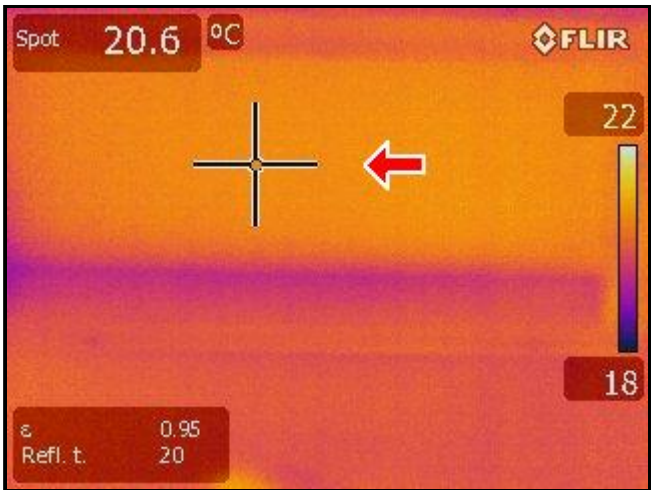
9. Insulation and Ventilation



9.0 Item 1(Picture)

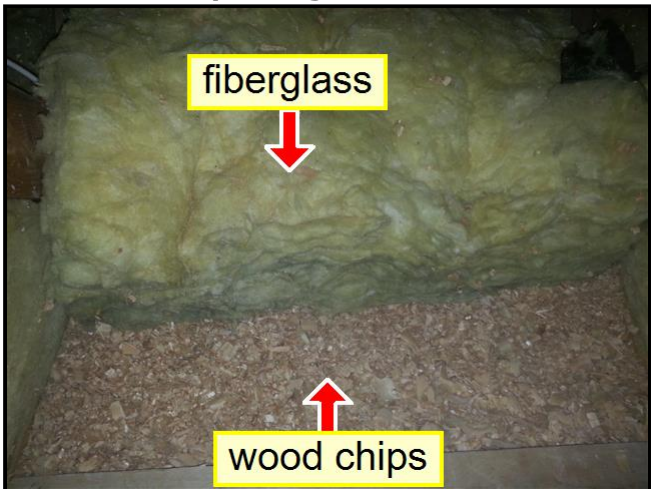


9.0 Item 2(Picture)



9.0 Item 3(Picture)

(2) **The attic has fiberglass batt insulation over top of wood chips. The covering is not consistent, Improving the attic insulation is recommended**



9.0 Item 4(Picture)



9.0 Item 5(Picture)

9. Insulation and Ventilation

9.4 VENTING SYSTEMS (Kitchens, baths and laundry)

Repair or Replace

(1) **The main and master bathroom exhaust ducts are disconnected in attic, repairs are required to reattach to prevent moisture issues.**

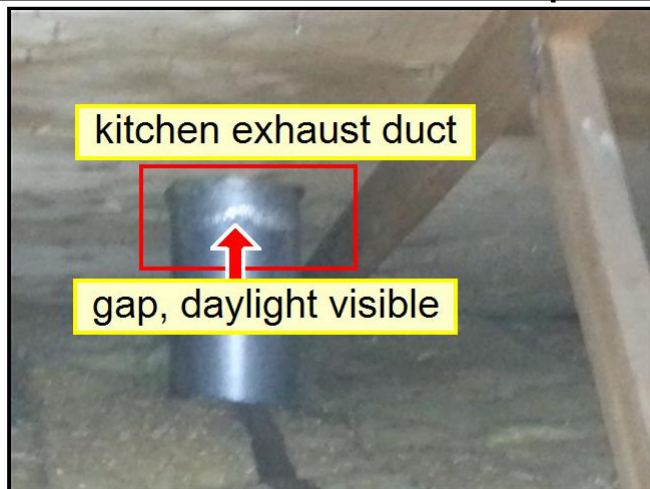


9.4 Item 1(Picture)



9.4 Item 2(Picture)

(2) **The kitchen exhaust has a gap at the joint as shown and has likely caused a moisture stain in the kitchen as mentioned. repairs are required**



9.4 Item 3(Picture)



9.4 Item 4(Picture)

(3) **The clearance between the electric cooktop and the exhaust should be 21 inches it is 16 1/2 inches**

9. Insulation and Ventilation



9.4 Item 5(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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INVOICE

Mr. Home Inspection Services Inc.
317 Shawinigan Dr SW Calgary, Alberta
T2Y 3A2 403-455-5058
Randy@MrHomeInspections.ca
www.MrHomeInspections.ca
Inspected By: Randy McKay

Inspection Date: 7/11/2014
Report ID: 14-XXXX

Customer Info:	Inspection Property:
John & Jenn Jones 1234 119 Ave NW Calgary Ab Customer's Real Estate Professional:	2222 - Rocky Mountain St SW Calgary Ab

Inspection Fee:

Service	Price	Amount	Sub-Total
			Tax \$0.00
			Total Price \$0.00

Payment Method: Mastercard

Payment Status: Paid At Time Of Inspection

Note:

Inspection Agreement

This inspection was performed in accordance with and under the terms of a Pre-Inspection Agreement. The agreement was signed and agreed upon before the preparation of this report and a signed copy of the agreement is available upon request. An unsigned copy of the agreement may be attached to this report for your information or it may also be available on the company web site.