

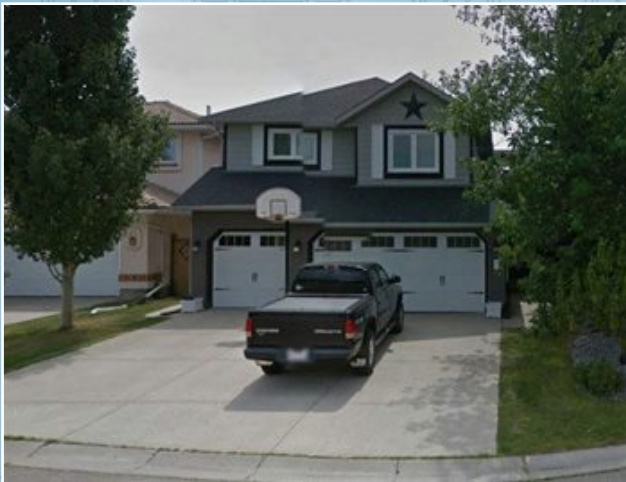


YOUR INSPECTION REPORT

Inspected once, inspected right.

PREPARED BY:

Cliff Keveryga



FOR THE PROPERTY AT:

123 Sample Drive S.E.
Calgary, AB

PREPARED FOR:

BILL SMITH

INSPECTION DATE:

Tuesday, July 24, 2012



C.H.I. Home Inspections
3 Sunwood Park S.E.
Calgary, AB T2X 2V8

403-862-2230

Fax: 403-720-6008

www.calgaryhomeinspections.com
cliff@calgaryhomeinspections.com





May 27, 2015

Dear Bill Smith ,

RE: Report No. 1004, v.4
123 Sample Drive S.E.
Calgary, AB

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document, which is included at the end of the report for your perusal, defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection. We offer a full satisfaction guarantee, and will return your fee in full if you are not satisfied at any time.

Sincerely,

Cliff Kevergya
on behalf of
C.H.I. Home Inspections

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SUMMARY

123 Sample Drive S.E., Calgary, AB July 24, 2012

Report No. 1004, v.4

www.calgaryhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

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INTERIOR

BATHROOM

KITCHEN

SITE DATA

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

RECOMMENDATIONS \ Overview

Condition: • The Inspector recommends, that you consult with a qualified roofing contractor to discuss options and a current assessment be performed.

Location: Roof

Task: Further evaluation Contact a licensed and qualified roofing contractor

Time: Immediate

Exterior

WALLS \ Trim

Condition: • Maintaining wood trim - Exterior wood needs regular maintenance to prolong the life expectancy.

Recommend annual inspections and provide paint and caulking when necessary. The wood should be checked for any rot when preparing to paint and the wood should be repaired or replaced if necessary

Location: Throughout Exterior wall

Task: Correct/Improve

Time: Earliest opportunity

WALLS \ Brick, stone and concrete

Condition: • [Parging damaged or missing](#)

Observations

Cement parging is flaking/deteriorated, this is extremely common and decorative but suggest review for repair as necessary to protect the foundation wall from premature aging.

Implication(s): Chance of damage to structure | Shortened life expectancy of material

Location: Various Exterior wall

Task: Correct/Improve

Time: Earliest opportunity

Heating

General

• The Inspector recommends that furnace cleaning, service and certification be performed by a qualified contractor, with measurements according to the data plate.

Location: Basement Utility room

Task: A qualified HVAC company should be contacted for this item Service Clean

Time: Immediate

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GAS FURNACE \ Mid- and high-efficiency gas furnace

Condition: • [Condensate problems](#)

There was a past leak observed from the inducer fan casing at the time of the inspection. Would recommend having this serviced by a qualified HVAC company as soon as possible. Please open link to view a video of the leak.

<https://youtu.be/ySNhacJpFXy>

Implication(s): Chance of water damage to contents, finishes and/or structure | Reduced system life expectancy

Location: Basement Utility room

Task: A qualified HVAC company should be contacted for this item

Time: Immediate

Insulation and Ventilation

ATTIC/ROOF \ Insulation

Condition: • [Gaps or voids](#)

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Second floor Hallway bathroom, bedroom

Task: Correct/Improve

Time: Earliest opportunity

ATTIC/ROOF \ Hatch

Condition: • [Not insulated](#)

Missing Insulation

An attic access that is not insulated is a big hole and deficiency in the thermal barrier between the attic and the condition space. This gap in the attic insulation increases heat loss in the winter and heat gain in the summer.

An unsealed attic access can potentially leak the same amount of air supplied by a typical bedroom-heating duct (100 CFM). To insulate an attic access, a lightweight, move able box or panel can be constructed from rigid foam to fit over the access from the attic side. Would recommend having the builder correct this issue as soon as possible.

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Middle Third Floor Hallway Bathroom

Task: Repair

Time: Immediate

Plumbing

SUPPLY PLUMBING \ Shut off valve

Condition: • [Leak](#)

The main shut off for the bathroom sink was leaking at the time of the inspection. Would contact a qualified plumber to address this issue.

Implication(s): Chance of water damage to contents, finishes and/or structure | No water

Location: Second floor Bathroom Hallway bathroom

Task: Repair A qualified plumbing company should be contacted for this item

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Time: Immediate

WASTE PLUMBING \ Traps - performance

Condition: • [Leak](#)

Copy and open link to view video.

<https://youtu.be/4oG9WgxbXf0>

Implication(s): Sewage entering the building

Location: Basement Bathroom

Task: Repair

Time: Immediate

FIXTURES AND FAUCETS \ Toilet

Condition: • Leakage at the toilet water supply connection was observed at the time of the inspection. The Inspector recommends supply pipe replacement by a qualified plumbing contractor to avoid future damage from leakage or failure.

Location: Main floor Bathroom

Task: Repair A qualified plumbing company should be contacted for this item

Time: Immediate

Kitchen

DISHWASHER \ Door Seal

Condition: • Unit is leaking

Would contact a qualified appliance repair company to fix this as soon as possible.

Location: Main floor Kitchen

Task: Repair

Time: Immediate

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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Description

Sloped roofing material:

- [Wood shingles/shakes](#)
- [Wood shakes](#)



1. Wood shakes

Sloped roof flashing material: • Metal

Probability of leakage: • High

Observations and Recommendations

RECOMMENDATIONS \ Overview

Condition: • The Inspector recommends, that you consult with a qualified roofing contractor to discuss options and a current assessment be performed.

Location: Roof

Task: Further evaluation Contact a licensed and qualified roofing contractor

Time: Immediate

SLOPED ROOFING \ Wood shingles and shakes

Condition: • [Old, worn out](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

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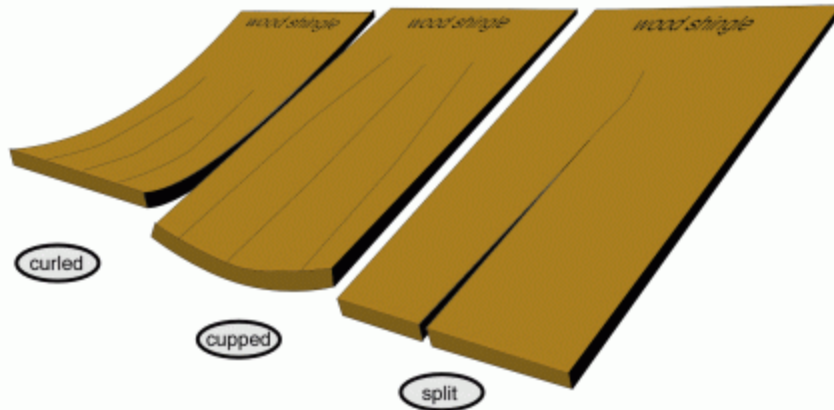
INTERIOR

BATHROOM

KITCHEN

SITE DATA

Curling, cupping and splitting wood shingles



[Click on image to enlarge.](#)

Condition: • [Near end of life expectancy](#)

Would recommend contacting a roofing company to address this concern.

Implication(s): Chance of water damage to contents, finishes and/or structure

Condition: • [Cupping, curling](#)

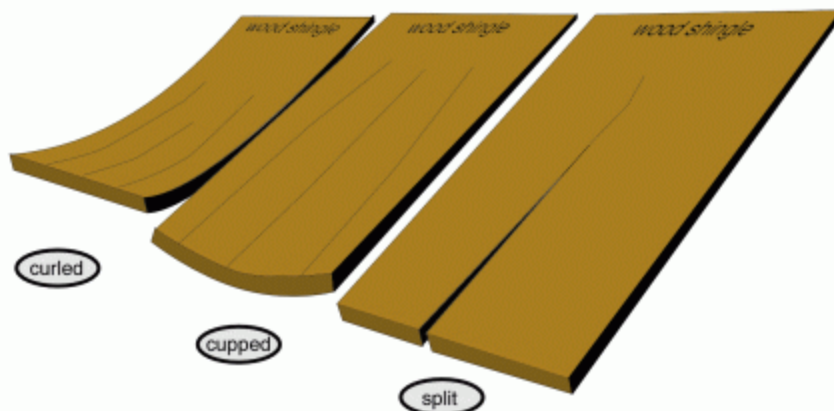
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout Roof

Task: Replace

Time: Less than 1 year

Curling, cupping and splitting wood shingles



[Click on image to enlarge.](#)

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2. Cupping, curling

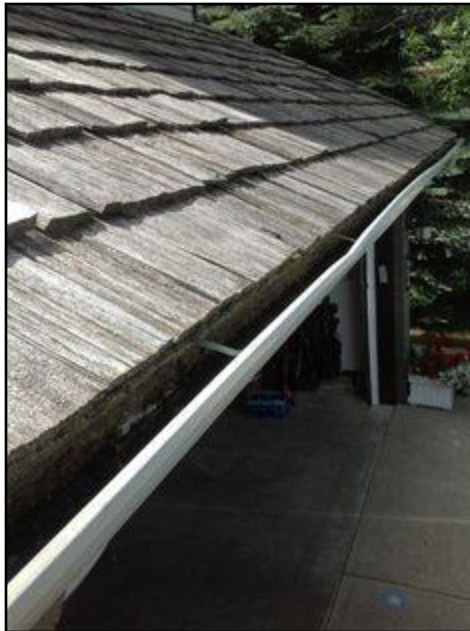
Condition: • [Moss, mildew, etc.](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various North Cold Room Roof

Task: Repair

Time: Immediate



3. Moss, mildew, etc.

Condition: • [Vulnerable to ice damming](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

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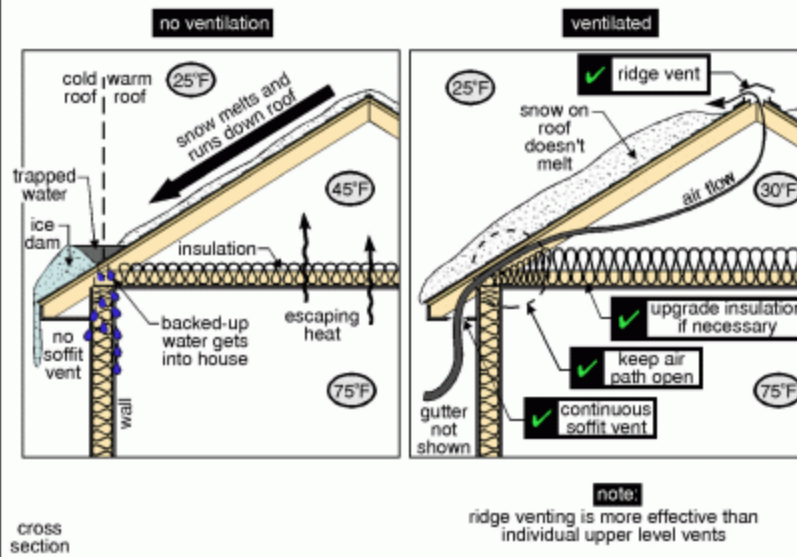
INTERIOR

BATHROOM

KITCHEN

SITE DATA

Preventing ice dams with ventilation



[Click on image to enlarge.](#)

SLOPED ROOF FLASHINGS \ Roof/wall flashings

Condition: • [Damage, loose, open seams, patched](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Roof

Task: Repair

Time: Immediate



4. Damage, loose, open seams, patched

Condition: • [Rust](#)

Rust is present in the valley of this roof

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Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Northwest Roof

Task: Replace

Time: Discretionary

Limitations and Disclaimers

Roof inspection limited/prevented by: • Lack of access (too high/steep) • Lack of access (too slippery/fragile)

Inspection performed: • With binoculars from the ground • From roof edge • From the ground

EXTERIOR

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Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#)

Wall surfaces - wood: • Hardy Board

Wall surfaces - masonry: • Minor horizontal crack above lintel above garage door. • Limestone

Wall surfaces - masonry: • [Brick](#)

Wall surfaces: • [EIFS](#)

Soffit and fascia: • [Aluminum](#)

Driveway: • Concrete

Walkway: • Concrete • No performance issues were noted.

Deck: • Raised • Synthetic wood • No performance issues were noted

Exterior steps: • No performance issues were noted.

Balcony: • Wood • Metal railings

Fence: • Wood • No performance issues were noted.

Observations and Recommendations

WALLS \ Trim

Condition: • Maintaining wood trim - Exterior wood needs regular maintenance to prolong the life expectancy.

Recommend annual inspections and provide paint and caulking when necessary. The wood should be checked for any rot when preparing to paint and the wood should be repaired or replaced if necessary

Location: Throughout Exterior wall

Task: Correct/Improve

Time: Earliest opportunity

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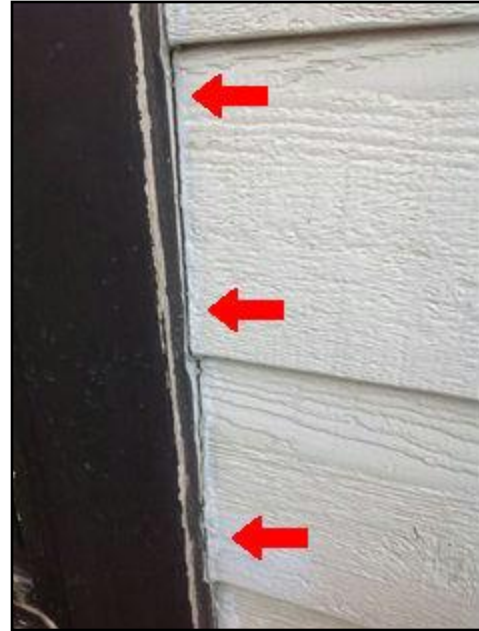
BATHROOM

KITCHEN

SITE DATA



5. Missing paint or caulking



6. Missing paint or caulking

WALLS \ Brick, stone and concrete

Condition: • [Parging damaged or missing](#)

Observations

Cement parging is flaking/deteriorated, this is extremely common and decorative but suggest review for repair as necessary to protect the foundation wall from premature aging.

Implication(s): Chance of damage to structure | Shortened life expectancy of material

Location: Various Exterior wall

Task: Correct/Improve

Time: Earliest opportunity

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7. Parging damaged or missing

Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#) • Not visible

Floor construction: • This home has a finished basement.

Floor construction: • Not visible • Subfloor - plywood

Exterior wall construction: • Basement is finished not visible

Exterior wall construction: • [Wood frame](#) • Not visible

Roof and ceiling framing: • [Rafters/roof joists](#) • [Trusses](#) • [OSB \(Oriented Strand Board\) sheathing](#)

Observations and Recommendations

FOUNDATIONS \ Foundation

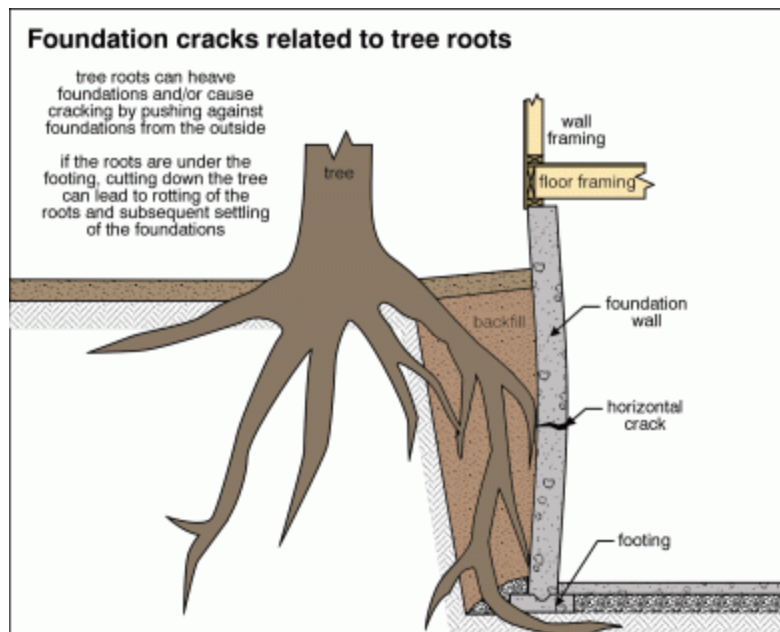
Condition: • [Large trees close to building](#)

Implication(s): Weakened structure | Chance of structural movement

Location: Front Yard

Task: Monitor

Time: Regular maintenance



[Click on image to enlarge.](#)

STRUCTURE

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Limitations and Disclaimers

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 99 %

ELECTRICAL

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Description

Service entrance cable and location: • [Underground aluminum](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - water pipe and ground rod](#) • [Not visible](#)

Distribution panel rating: • [100 Amps](#)

Distribution panel type and location: • [Breakers - basement](#)

Auxiliary panel (subpanel) rating: • [60 Amps](#)

Auxiliary panel (subpanel) type and location: • [Breakers - basement](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#)

Smoke detectors: • Would recommend new smoke detectors be installed when new clients move in

Smoke detectors: • [Present](#)

Carbon monoxide (CO) detectors: • Present

Observations and Recommendations

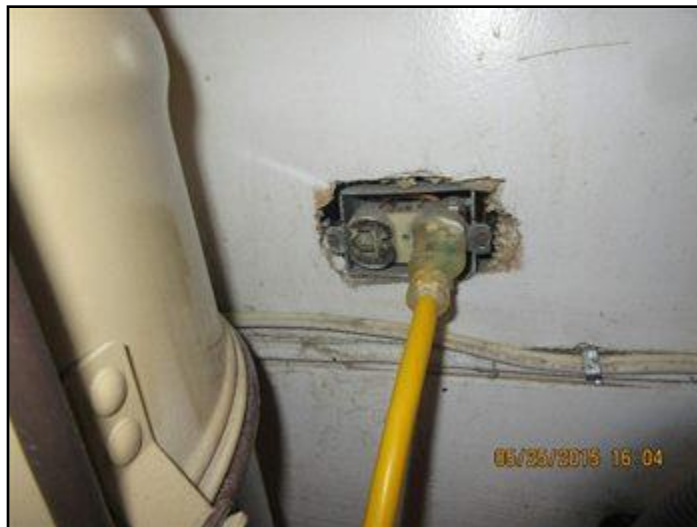
DISTRIBUTION SYSTEM \ Cover plates

Condition: • [Missing](#)

These cover plates should be replaced as soon as possible, as this is a safety issue.

Implication(s): Electric shock

Location: Basement



8. Missing

ELECTRICAL

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Limitations and Disclaimers

Inspection limited/prevented by: • Storage

System ground: • Not accessible

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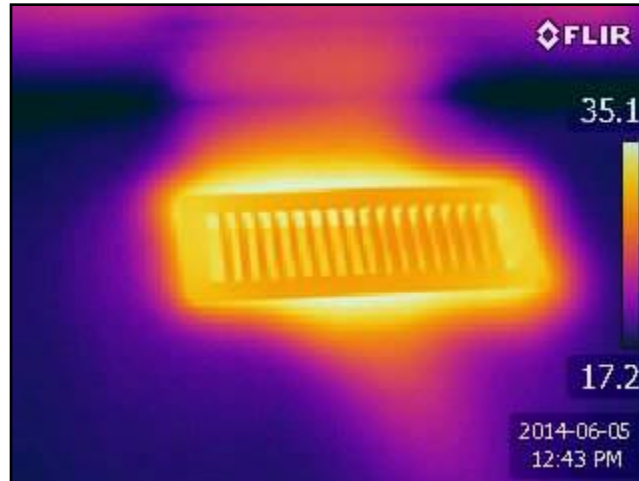
BATHROOM

KITCHEN

SITE DATA

Description

General: • All heat registers are tested using thermal imaging to ensure they are operating consistently as required.



9. All heat registers are tested using thermal...

Fuel/energy source: • [Gas](#)

System type: • [Furnace](#)

Furnace manufacturer: • Lennox

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [80,000 BTU/hr](#)

Efficiency: • [Mid-efficiency](#)

Exhaust venting method: • [Direct vent - sealed combustion](#)

Approximate age: • [5 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at: • Above hot water tank next to furnace.

Main fuel shut off at: • Basement • Utility room

Failure probability: • [Low](#)

Exhaust pipe (vent connector): • Type C

Auxiliary heat: • [Wood fireplace](#)

Chimney/vent: • [Metal](#)

Chimney liner: • [Not visible](#)

Combustion air source: • Outside - sealed combustion

Humidifiers:

• [Trickle/cascade type](#)

HEATING

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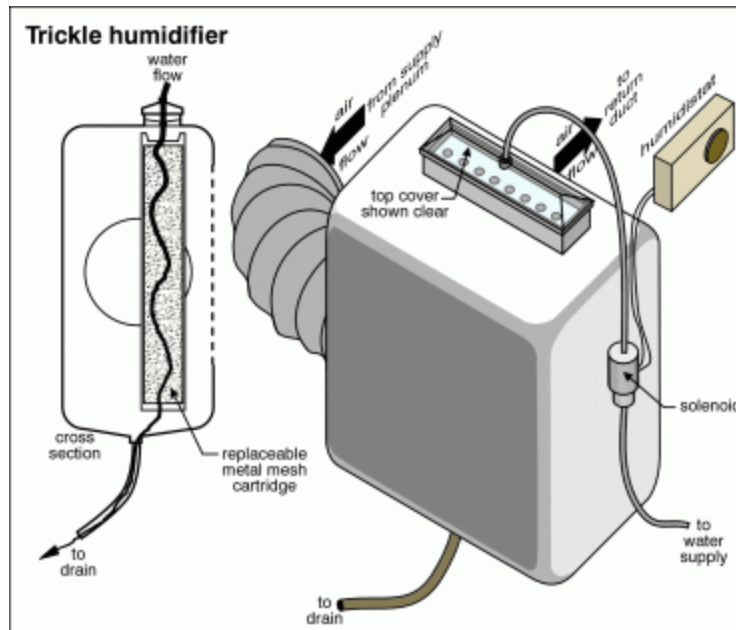
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Mechanical ventilation system for home: • Ventilation fan

Mechanical ventilation system for home: • Principal exhaust fan • Kitchen exhaust fan • Bathroom exhaust fan

Observations and Recommendations

General

- Furnaces should be serviced (tuned) every 2-3 years or as required by manufacturer. Duct cleaning should be considered if pets have lived in home and then typically every 4-5 years to remove dust buildup in ducts. Filters should be cleaned every 1-2 months.

- The Inspector recommends that furnace cleaning, service and certification be performed by a qualified contractor, with measurements according to the data plate.

Location: Basement Utility room

Task: A qualified HVAC company should be contacted for this item Service Clean

Time: Immediate

GAS FURNACE \ Mid- and high-efficiency gas furnace

Condition: • [Condensate problems](#)

There was a past leak observed from the inducer fan casing at the time of the inspection. Would recommend having this serviced by a qualified HVAC company as soon as possible. Please open link to view a video of the leak.

<https://youtu.be/ySNhacJpFXy>

Implication(s): Chance of water damage to contents, finishes and/or structure | Reduced system life expectancy

Location: Basement Utility room

Task: A qualified HVAC company should be contacted for this item

Time: Immediate

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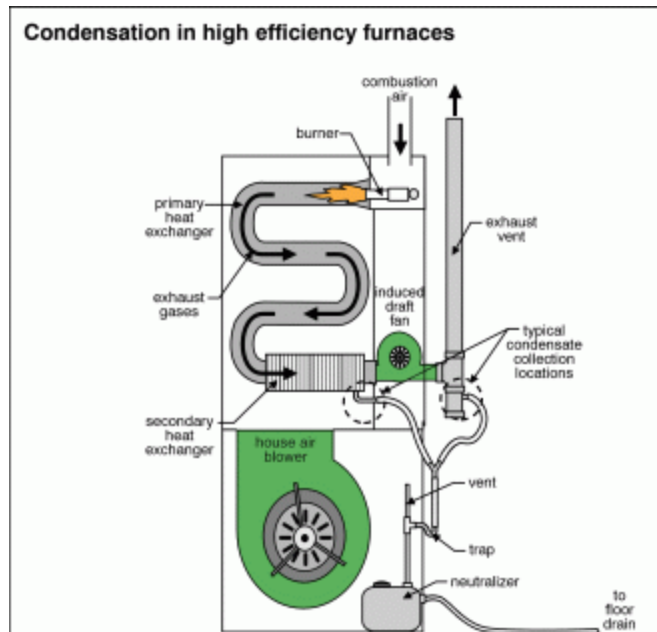
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[Click on image to enlarge.](#)



10. Condensate problems

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Limitations and Disclaimers

Inspection prevented/limited by: • Restricted access

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

COOLING & HEAT PUMP

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Description

General: • The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, dependant on the climate zone, but can fail prematurely with poor maintenance. We test and evaluate heating and air-conditioning systems in accordance with industry standards, which means that we do not attempt to dismantle any portion of them, or evaluate the following concealed components: the heat exchanger, or firebox, electronic air-cleaners, humidifiers, and in-line duct motors or dampers. We are not able to test the operation of air conditioning systems in cold weather or of systems that are shut down at the time of the inspection. You should also be aware that we do not evaluate or endorse any invented heating devices that utilize fossil fuels, the presence of which sometimes confirms the inadequacy of the primary heating system. However, these and every other fuel burning appliances that are not vented are potentially hazardous. They can include open flames or heated elements, which are capable of igniting any of the myriad flammable materials found in the average home. Also, even the most modern of these appliances can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. We perform a conscientious evaluation of heating and air-conditioning systems, but we are not specialists. Therefore, it is imperative that any recommendation that we may make for service, or a second opinion, be scheduled within the inspection period, or before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

General: • Split system description

The air conditioning system was a split system in which the cabinet housing the compressor, cooling fan and condensing coils was located physically apart from the evaporator coils.

As is typical with split systems, the compressor/condenser cabinet was located at the home's exterior so that the heat collected inside the home could be released to the outside air.

Evaporator coils designed to collect heat from the home interior were located inside a duct at the furnace

General: • The air conditioning is part of the Condo/Townhouse Apartment High Rise. Unit is located on the roof, access was not provided and is beyond the scope of the inspector.

Air conditioning type: • [Air cooled](#)

Manufacturer: • Lennox

Cooling capacity: • [30,000 BTU/hr](#)

Compressor type: • Gas

Compressor approximate age: • 5 years

Typical life expectancy: • 12 to 15 years

Failure probability: • [Low](#)

Evaporative cooler damper location: • [Right side of building](#)

COOLING & HEAT PUMP

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Observations and Recommendations

AIR CONDITIONING \ General

Condition: • Servicing the air conditioner unit every two years is recommended.

Limitations and Disclaimers

Heat gain calculations: • Not done as part of a building inspection

Heat gain/loss calculations: • Not done as part of a building inspection

INSULATION AND VENTILATION

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Description

Attic/roof insulation material: • [Cellulose](#)

Attic/roof insulation amount/value: • Recommend top up for attic insulation.

Attic/roof insulation amount/value: • Not determined

Attic/roof ventilation: • [Roof and soffit vents](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Wall insulation material: • Not visible

Wall insulation amount/value: • Not determined

Foundation wall insulation material: • Not determined

Foundation wall insulation amount/value: • Not determined • Not visible

Observations and Recommendations

ATTIC/ROOF \ Insulation

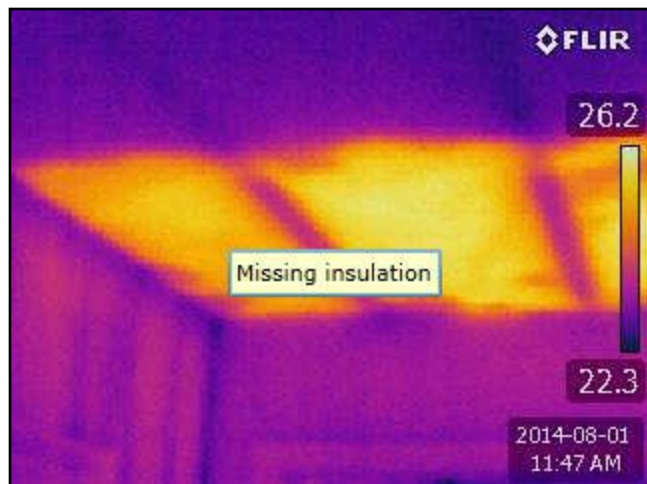
Condition: • [Gaps or voids](#)

Implication(s): Increased heating and cooling costs | Reduced comfort

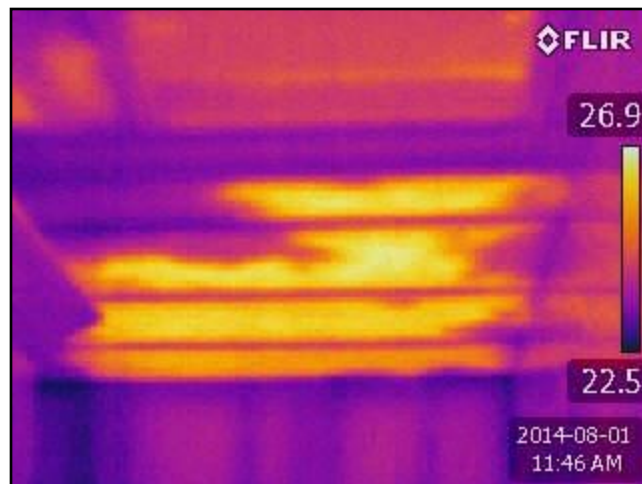
Location: Second floor Hallway bathroom, bedroom

Task: Correct/Improve

Time: Earliest opportunity



11. Gaps or voids



12. Gaps or voids

ATTIC/ROOF \ Hatch

Condition: • [Not insulated](#)

Missing Insulation

An attic access that is not insulated is a big hole and deficiency in the thermal barrier between the attic and the condition space. This gap in the attic insulation increases heat loss in the winter and heat gain in the summer.

An unsealed attic access can potentially leak the same amount of air supplied by a typical bedroom-heating duct (100 CFM). To insulate an attic

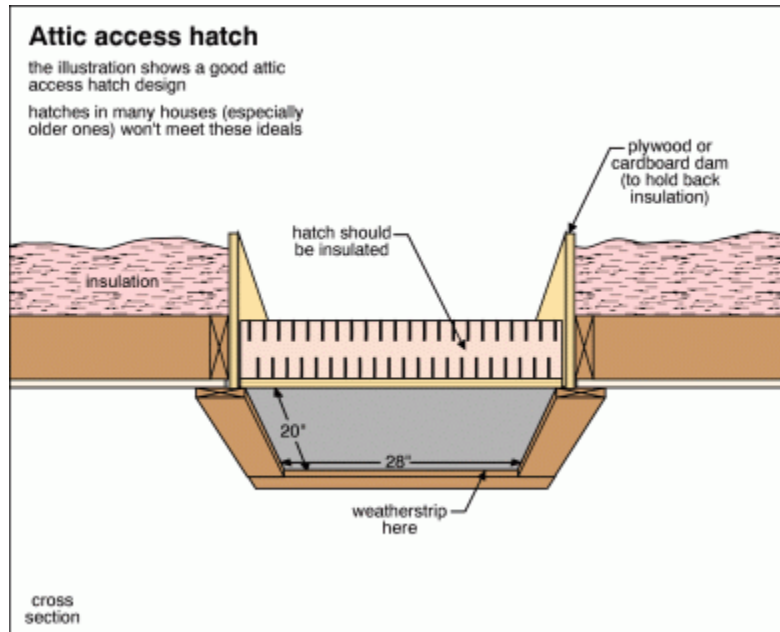
access, a lightweight, move able box or panel can be constructed from rigid foam to fit over the access from the attic side. Would recommend having the builder correct this issue as soon as possible.

Implication(s): Increased heating and cooling costs | Reduced comfort

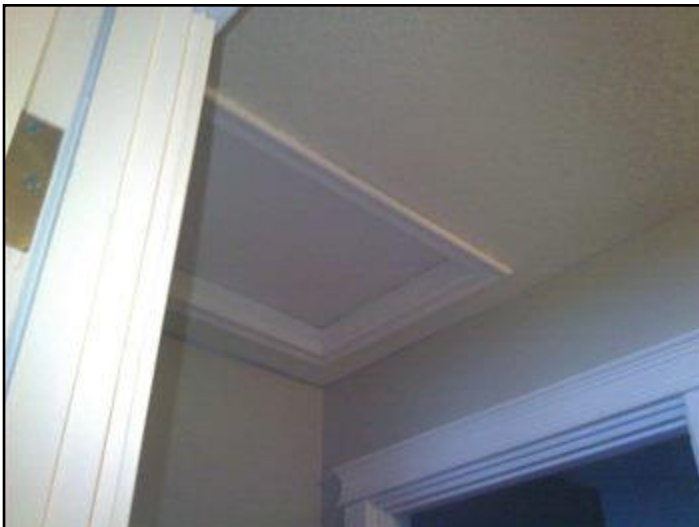
Location: Middle Third Floor Hallway Bathroom

Task: Repair

Time: Immediate



[Click on image to enlarge.](#)



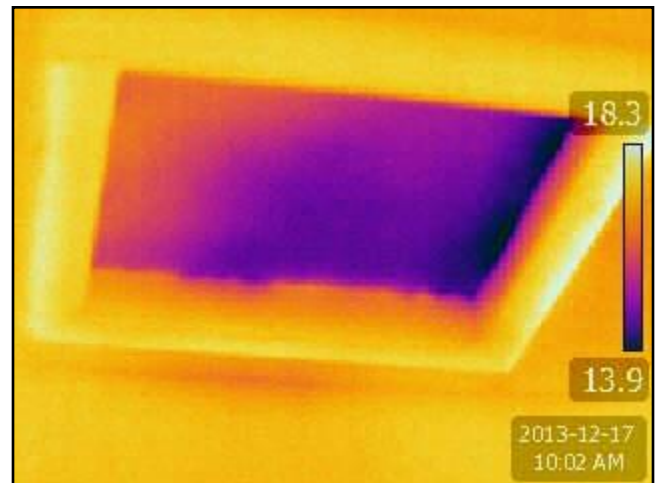
13. Not insulated

Condition: • [Missing](#)

Implication(s): Difficult to service

Location: Middle Third Floor Hall

Task: Improve



14. Not insulated

INSULATION AND VENTILATION

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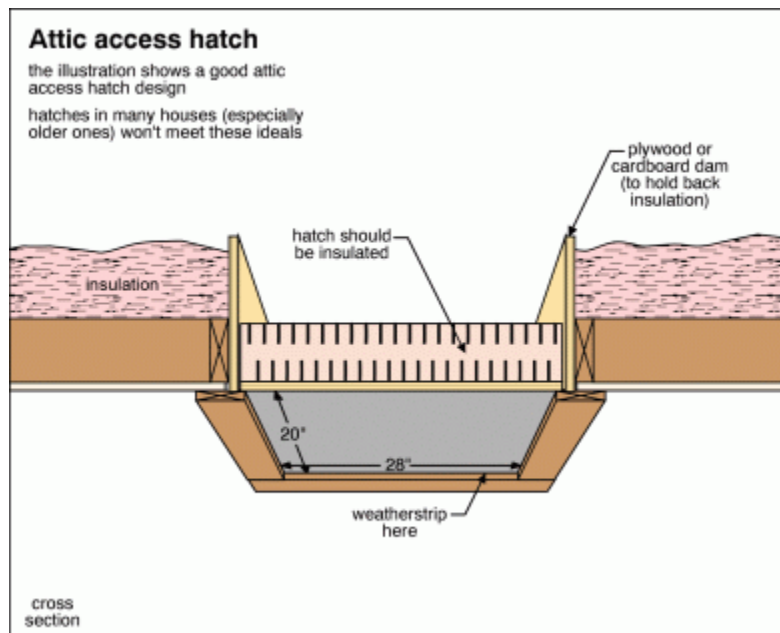
INTERIOR

BATHROOM

KITCHEN

SITE DATA

Time: Immediate



[Click on image to enlarge.](#)

Limitations and Disclaimers

Inspection prevented by no access to: • Knee wall areas

Attic inspection performed: • From access hatch

Mechanical ventilation effectiveness: • Not verified

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Description

Water supply source: • Public

Service piping into building: • [Plastic](#)

Supply piping in building: • Polybutylene (PB)

Main water shut off valve at the: • Basement • Utility room • Meter

Water flow and pressure: • [Typical for neighborhood](#)

Water heater fuel/energy source: • [Gas](#)

Water heater type: • [Conventional](#)

Water heater manufacturer: • Bradford White

Tank capacity: • 75 gallons

Water heater approximate age: • 1 year

Typical life expectancy: • 8 to 12 years

Water heater failure probability: • [Low](#)

Hot water circulating system: • [Present](#)

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [Plastic](#)

Pumps: • [Sump pump](#)

Floor drain location: • Near heating system

Water treatment system: • Water softener

Gas piping: • Steel

Observations and Recommendations

RECOMMENDATIONS \ Overview

Condition: • The best way to protect against Sewage Backup is to install Sewer Backflow Valves, which are designed to block the backflow of sewage into the home. Canadian Insurance Companies may require a Backflow Valve be installed in order to Qualify for an Insurance Policy.
Recommend: Certified Plumber - Scope Sewer Line to Assess the Integrity of your System.

SUPPLY PLUMBING \ Shut off valve

Condition: • [Leak](#)
The main shut off for the bathroom sink was leaking at the time of the inspection. Would contact a qualified plumber to address this issue.

Implication(s): Chance of water damage to contents, finishes and/or structure | No water

Location: Second floor Bathroom Hallway bathroom

Task: Repair A qualified plumbing company should be contacted for this item

Time: Immediate

PLUMBING

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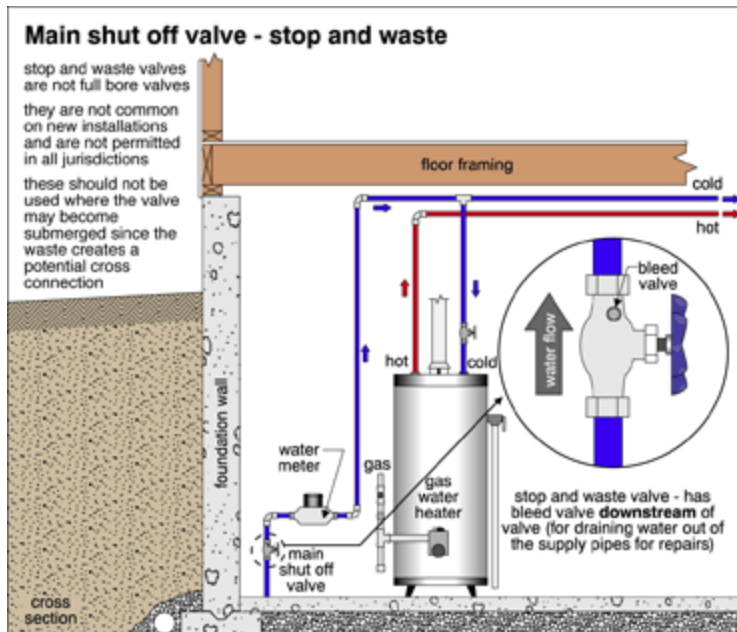
PLUMBING

INTERIOR

BATHROOM

KITCHEN

SITE DATA



[Click on image to enlarge.](#)



15. Leak

WASTE PLUMBING \ Traps - performance

Condition: • [Leak](#)

Copy and open link to view video.

<https://youtu.be/4oG9WgxbXf0>

Implication(s): Sewage entering the building

Location: Basement Bathroom

Task: Repair

Time: Immediate

FIXTURES AND FAUCETS \ Toilet

Condition: • Leakage at the toilet water supply connection was observed at the time of the inspection. The Inspector

PLUMBING

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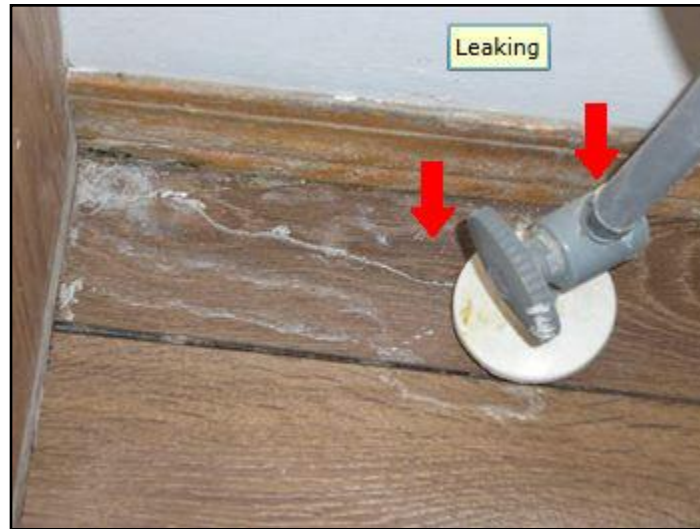
SITE DATA

recommends supply pipe replacement by a qualified plumbing contractor to avoid future damage from leakage or failure.

Location: Main floor Bathroom

Task: Repair A qualified plumbing company should be contacted for this item

Time: Immediate



16. Leakage at the toilet water supply...

Limitations and Disclaimers

Fuel supply/energy source: • Shut off

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Description

General: • Minor interior wear and deterioration The home showed moderate general wear and deterioration commensurate with its age.

Major floor finishes: • [Carpet](#) • [Hardwood](#) • [Quarry tile](#) • Vinyl

Major wall finishes: • [Gypsum board](#)

Major ceiling finishes: • [Stucco/texture/stipple](#)

Major wall and ceiling finishes: • [Stucco/texture/stipple](#) • [Gypsum board](#)

Windows: • [Fixed](#) • [Casement](#) • [Awning](#) • Wood

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [Metal](#) • Garage door - metal

Doors: • Inspected

Oven type: • Conventional • Convection

Range fuel: • Electricity

Appliances: • Refrigerator • Range hood • Dishwasher • Waste disposal • Microwave oven • Door bell

Laundry facilities: • Washer • Hot/cold water supply • Dryer • 240-Volt outlet • Waste standpipe

Stairs and railings: • Inspected

Inventory Cooktop: • Kenmore

Inventory Garbage disposal: • Waste King

Inventory Dishwasher: • default note

Inventory Garage Door Opener: • Garage sensors are working as to manufactures specs.

Inventory Garage Door Opener: • Sears

Inventory Range: • Kenmore

Inventory Refrigerator: • Kenmore Elite

Inventory Thermostat: • Honeywell

Inventory Wall Oven: • Kenmore

Inventory Washing Machine: • Kenmore

Inventory Water Heater: • Bradford White

Observations and Recommendations

WALLS \ Plaster or drywall

Condition: • Damaged

Implication(s): Cosmetic defects

Location: Second floor Bedroom #1

Task: Correct/Improve

Time: Earliest opportunity

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17. Damaged

WINDOWS \ Glass (glazing)

Condition: • [Excess condensation](#)

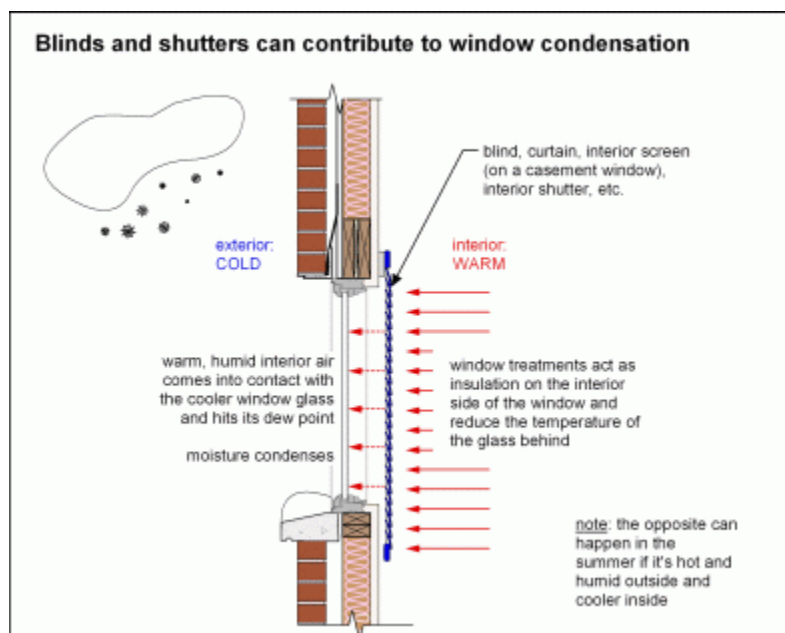
Many of the window sills had water staining from what appeared to be from condensation. This is a result of high humidity and should always be monitored. These problems may impact window performance, leakage of water and air and operation problems are likely results.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Main floor

Task: Repair

Time: Immediate



[Click on image to enlarge.](#)

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18. *Excess condensation*

WINDOWS \ Storms and screens

Condition: • [Missing](#)

Implication(s): Chance of pests entering building | Increased heating costs | Reduced comfort

Location: Basement Office

Task: Replace

Time: Discretionary

STAIRS \ Handrails

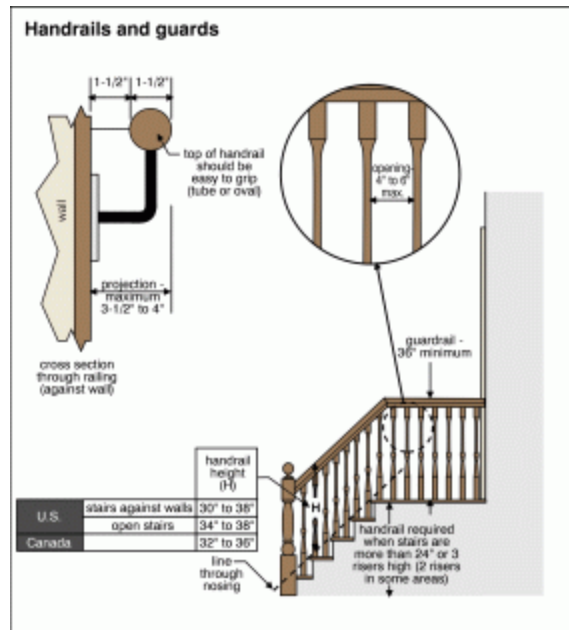
Condition: • [Missing](#)

Implication(s): Fall hazard

Location: Basement Staircase

Task: Replace

Time: Immediate



[Click on image to enlarge.](#)

GARAGE \ Floor

Condition: • [Cracked](#)

Implication(s): Uneven floors

Location: Middle Garage

Task: Repair

Time: Discretionary

Limitations and Disclaimers

Inspection limited/prevented by: • Carpet • Storage/furnishings • Storage in closets/cupboards

Restricted access to: • Basement • Bathroom • Bedroom • Dining room • Family room • Kitchen • Living room • Master bedroom • Utility room • Crawlspace • Furnace room • Garage • Cupboards and cabinets

Not included as part of a building inspection: • Carbon monoxide detectors, security systems, central vacuum • Appliances

Percent of foundation not visible: • 99 %

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

BATHROOM

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Description

Floors: • Tile

Doors: • hollow core wood

Windows: • Glass block

Windows: • vinyl • casement • fixed • double pane

Electrical: • GFCI

Counter: • One piece cultured marble.

Cabinet: • pre-fabricated

Tub: • jetted

Shower: • stall • tub/shower combo • tile

Tub surround: • tile • pre-fabricated

Heat source: • register

Ventilation: • fan

KITCHEN

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Description

General: • Kitchen Cabinets

No deficiencies observed on all kitchen cabinets.

General: • The sink faucet is functional. No active leak seen.

No leaking at time of inspection.

Counter Type: • Arborite Countertop Laminates

Counter Type: • Granite

Range/ Cooktop: • The electrical stove/range elements at the time of inspection appeared to function properly. These can fail at anytime without warning.

No warranty, guarantee, or certification is given as to future failure.

Range/ Cooktop: • Electric

Number of Ovens: • The electric oven elements at the time of inspection appeared to function properly. These can fail at anytime without warning. No warranty, guarantee, or certification is given as to future failures.

Number of Ovens: • 1

Hood/ Fan: • Discharges to the outside.

Hood/ Fan: • Appears Functional

Garbage Disposal: • Appears Functional

Plumbing: • Appears Functional

Misc. Appliance: • Built-in microwave appears functional

Dishwasher: • High loop installed.

Observations and Recommendations

DISHWASHER \ Door Seal

Condition: • Unit is leaking

Would contact a qualified appliance repair company to fix this as soon as possible.

Location: Main floor Kitchen

Task: Repair

Time: Immediate

KITCHEN

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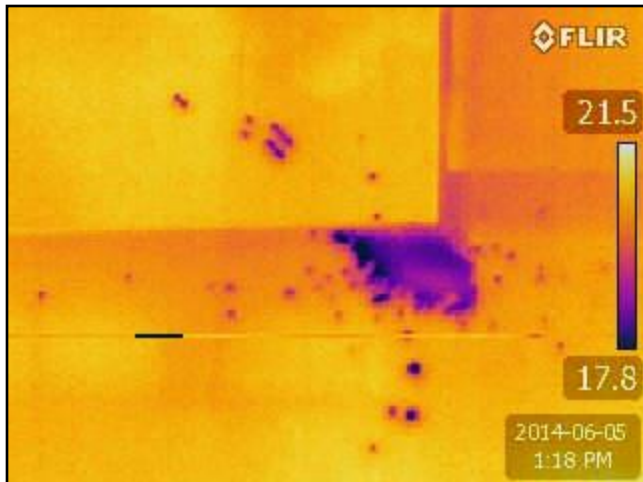
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19. Unit is leaking



20. Unit is leaking

Limitations and Disclaimers

General: • Observations:

LIMITATIONS OF APPLIANCES INSPECTION

This is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection. Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Countertop: • view restricted by personal property

Plumbing: • View of sink(s) restricted by dishes

SITE DATA

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Description

Weather: • Sunny • Clear • Light winds

Approximate temperature: • 18°

Attendees: • Buyer • Buyer's Agent

Access to home provided by: • Buyer's agent

Occupancy: • There was no one home during the inspection. • The home was furnished during the inspection.

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 10:00 a.m.

Approximate inspection End time: • The inspection ended at 1:30 p.m.

Approximate date of construction: • 1988

Approximate size of home: • 2700 ft.²

Building type: • Residential Detached Single Family

Number of stories: • 2

Number of bedrooms: • 4

Number of bathrooms: • 4

Number of kitchens: • 1

Garage, carport and outbuildings: • Attached three-car garage

Area: • Suburb

Street type: • Residential

Street surface: • Paved

END OF REPORT